

6.1 Planning Permit Application TP-2024-854 23-31 Lincoln Square South, Carlton**Report Author:** Leanne Stockley, Senior Urban Planner**Report Presenter:** Nick McLennan, Acting Head of Statutory Planning**Executive Leader:** Evan Counsel, General Manager Strategy, Planning and Climate Change**Executive Summary**

1. The purpose of this report is to advise the Future Melbourne Committee of a planning permit application that seeks permission for partial demolition, development of a multi-storey building used for student accommodation and retail, and a variation of the bicycle facility requirements at 25-31 Lincoln Square South, Carlton (refer to Attachment 1 – Locality Map).
2. The proposed development seeks the adaptive reuse of the existing former Allen & Co Piano factory and warehouse with additional levels above (total height 14 storeys / 46.94 m) for a 268-bed student accommodation development and small retail tenancy at ground floor (refer to Attachment 2 – Plans).
3. The owner is Ambertree Vic Mel (Lincoln) Pty Ltd, the applicant is Fathom Lincoln Pty Ltd, represented by Contour Consultants. The architect is Hayball. The estimated cost of development is \$40,120,000.
4. The site is within the Capital City Zone (Schedule 5) (CCZ5) and is affected by the Heritage Overlay (HO122, Lincoln Square South Precinct), the Design and Development Overlay (Schedule 61, City North Area 4.1), and the Parking Overlay (Schedule 1, Outside the Retail Core).
5. Public notice (advertising) of the application was undertaken. A total of three objections have been received. Key concerns raised include heritage impacts (the extent of demolition and new built form), off-site amenity impacts (including overshadowing and overlooking), traffic impacts to rear and side lane and protection of equitable development rights.
6. The key matters for consideration in the assessment of this application are whether the proposed built form is appropriate having regard to the relevant policy and controls, whether the extent of demolition and proposed response is respectful of the heritage building and whether the use of the site for student accommodation is appropriate.
7. The assessment as set out in the planning report (refer to Attachment 3 – Planning Report) finds the application, subject to recommended conditions, is consistent with the relevant provisions and policies of the Melbourne Planning Scheme (Scheme), achieves an appropriate built form outcome, and the student accommodation use will not result in unreasonable off-site amenity impacts.

Recommendation from management

8. That the Future Melbourne Committee resolves to:
 - 8.1. Issue a Notice of Decision to Grant a Permit subject to the conditions in the planning report (refer to Attachment 3 – Planning Report).

Purpose

9. The purpose of this report is to advise the Future Melbourne Committee of an application for a planning permit (TP-2024-854) which seeks approval for partial demolition, development of a multi-storey building, use of the land for student accommodation and retail, and a reduction of the bicycle facility requirements of the heritage building at 23-31 Lincoln Square South, Carlton (refer Attachment 1).

Background

10. The owner is Ambertree Vic Mel (Lincoln) Pty Ltd, the applicant is Fathom Lincoln Pty Ltd, represented by Contour Consultants. The architect is Hayball. The estimated cost of development is \$40,120,000.
11. The site is within the Capital City Zone (Schedule 5) and is affected by the Heritage Overlay (HO122, Lincoln Square South Precinct), the Design and Development Overlay (Schedule 61, City North Area 4.1), and the Parking Overlay (Schedule 1, Outside the Retail Core).
12. The application seeks planning permission to partially demolish the existing heritage building, construct additions (levels above), undertake external alterations and external painting, use the building for a residential building (student accommodation) and waive the bicycle facilities requirement (refer to Attachment 2 – Plans).
13. Public notice of the application was undertaken, and a total of three objections were received.

Key considerations

14. The key considerations relate to the preferred built form objectives of the zone and Design and Development Overlay, heritage, use of the site for student accommodation and objector concerns.
15. The assessment as set out in the planning report (refer to Attachment 3 – Planning Report) outlines that, subject to conditions, the proposal is an acceptable planning outcome when assessed against the relevant provisions of the Scheme and will provide for adaptive re-use and conservation of the heritage building.

Legal

16. Division 1 of Part 4 of the *Planning and Environment Act 1987* (the Act) sets out the requirements in relation to applications for permits pursuant to the Scheme.
17. As objections have been received, sections 64 and 65 of the Act provide that the responsible authority must give the applicant and the objectors notice in the prescribed form of its decision to either grant a permit or refuse to grant a permit. The responsible authority must not issue a permit to the applicant until the end of the period in which the objectors may apply to the Victorian Civil and Administrative Tribunal (VCAT) for a review of the decision or, if an application for review is made, until the application is determined by VCAT.

Finance

18. There are no financial implications as a result of the recommendation from management.

Conflict of interest

19. No member of Council staff, or other person engaged under a contract, involved in advising on or preparing this report has declared a material or general conflict of interest in relation to the matter of the report.

Charter of Human Rights and Responsibilities

20. The recommendation contained in this report is compatible with the *Charter of Human Rights and Responsibilities Act 2006* as it does not raise any human rights issues.

Health and Safety

21. Relevant planning considerations, namely residential amenity, that could impact on health and safety have been considered within the planning permit application and assessment process. No other health and safety issues or opportunities have been identified.

Consultation

22. Public notice of the original application was undertaken to surrounding owners and occupiers pursuant to section 52 of the Act.
23. Public notice of the application attracted three objections. Key concerns raised include heritage impacts (the extent of demolition and new built form), off-site amenity impacts (including overshadowing and overlooking), traffic impacts to rear and side lane and protection of equitable development rights.

Relevance to Council Plan and Council Policies

24. Relevant Council policies are discussed in the Planning Report from Management (Attachment 3).

Social and environmental impacts**Social impacts**

25. Relevant Council policies are discussed in the Planning Report from Management (Attachment 3).

Gender Impact Assessment

26. No Gender Impact Assessment was required.

Environmental impacts

27. The application will generally achieve the relevant performance measures set out in Clause 15.01-2L-01 (Energy, water and waste efficiency) and Clause 19.03-3L (Stormwater management (water sensitive urban design)) of the Planning Scheme.

Attachment List

1. Locality Map [6.1.1 - 1 page]
2. Plans [6.1.2 - 35 pages]
3. Planning Report [6.1.3 - 57 pages]

Locality Plan

23-31 Lincoln Square South, Carlton



CITY OF MELBOURNE PLANNING 1/5/2025



NO	SHEET NAME
TP00.00	COVER SHEET
TP00.01	SITE PLAN
TP00.02	DEMOLITION PLAN - GROUND LOWER
TP00.03	DEMOLITION PLAN - GROUND
TP00.04	DEMOLITION PLAN - LEVEL 1
TP00.05	DEMOLITION PLAN - LEVEL 2
TP00.06	DEMOLITION PLAN - LEVEL 3
TP00.07	DEMOLITION PLAN - LEVEL 4
TP00.08	DEMOLITION PLAN - ROOF PLAN
TP00.09	DEMOLITION ELEVATION - NORTH
TP00.10	DEMOLITION ELEVATION - WEST
TP00.11	DEMOLITION ELEVATION - EAST
TP00.12	DEMOLITION ELEVATION - SOUTH
TP01.00	PROPOSED PLAN - LOWER GROUND
TP01.01	PROPOSED PLAN - GROUND
TP01.02	PROPOSED PLAN - LEVEL 1-4
TP01.03	PROPOSED PLAN - LEVEL 5
TP01.04	PROPOSED PLAN - LEVEL 6
TP01.05	PROPOSED PLAN - LEVEL 7-13
TP01.06	PROPOSED PLAN - ROOF PLAN
TP02.01	TYPICAL ROOM TYPES
TP02.02	TYPICAL ROOM TYPES
TP06.01	PROPOSED NORTH ELEVATION
TP06.02	PROPOSED SOUTH ELEVATION
TP06.03	PROPOSED EAST ELEVATION
TP06.04	PROPOSED WEST ELEVATION
TP06.05	PROPOSED EAST DETAIL ELEVATION
TP06.06	PROPOSED EAST DETAIL ELEVATION
TP06.07	PROPOSED NORTH DETAIL ELEVATION
TP06.08	PROPOSED SOUTH DETAIL ELEVATION
TP07.01	SECTION
TP07.02	SECTION
TP07.03	SECTION
TP08.00	MATERIAL SCHEDULE
TP09.00	DEVELOPMENT SUMMARY
TP40.01	SUN & SHADOW STUDY- EXISTING BUILDING
TP40.02	SUN & SHADOW STUDY - PROPOSED BUILDING

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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
 Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
 23-31 LINCOLN SQUARE, CARLTON

Drawing Title
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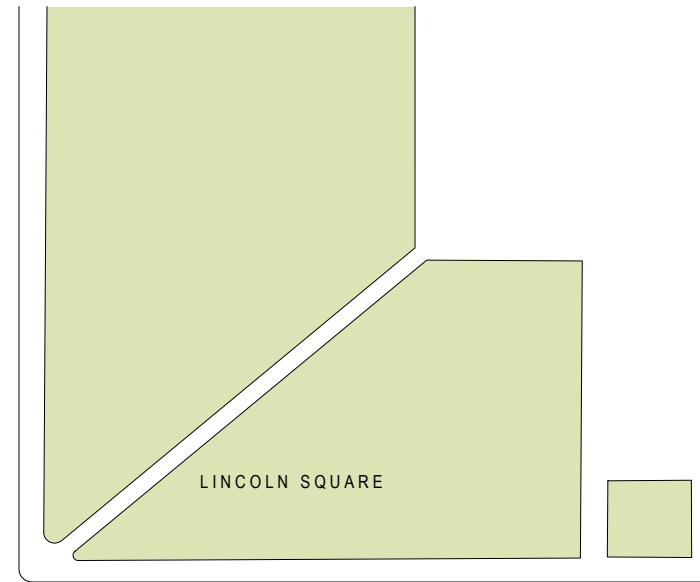
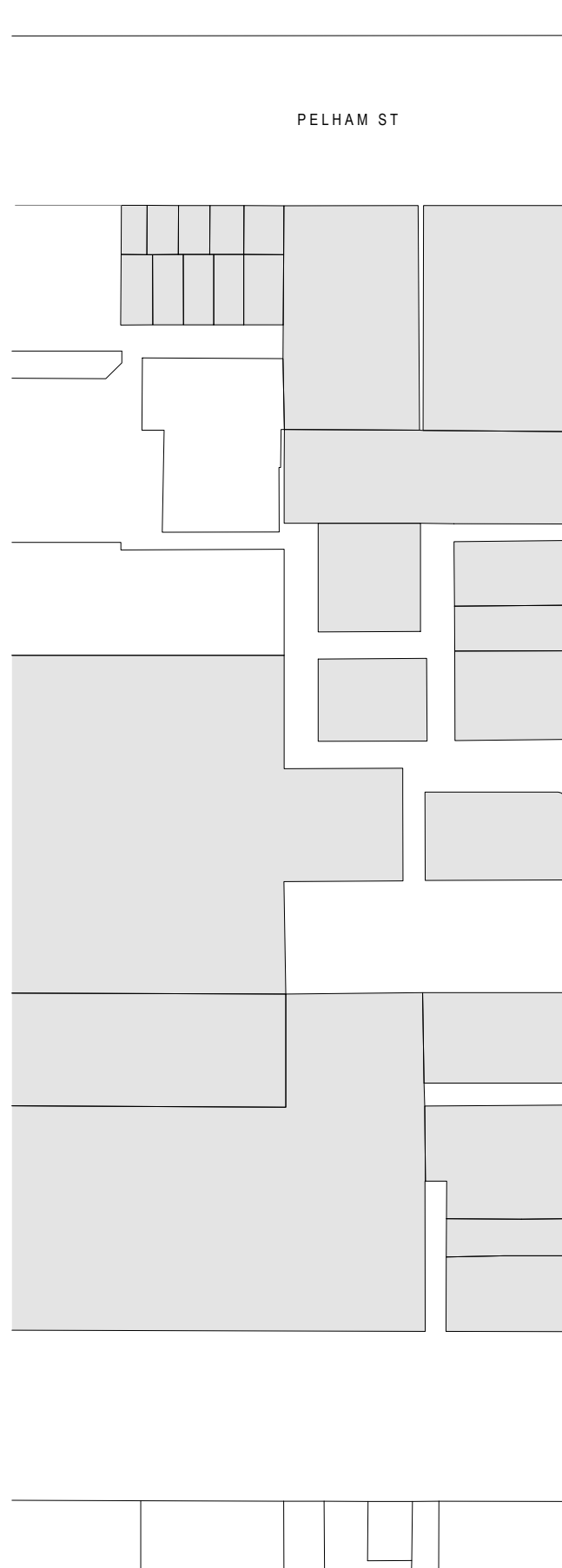
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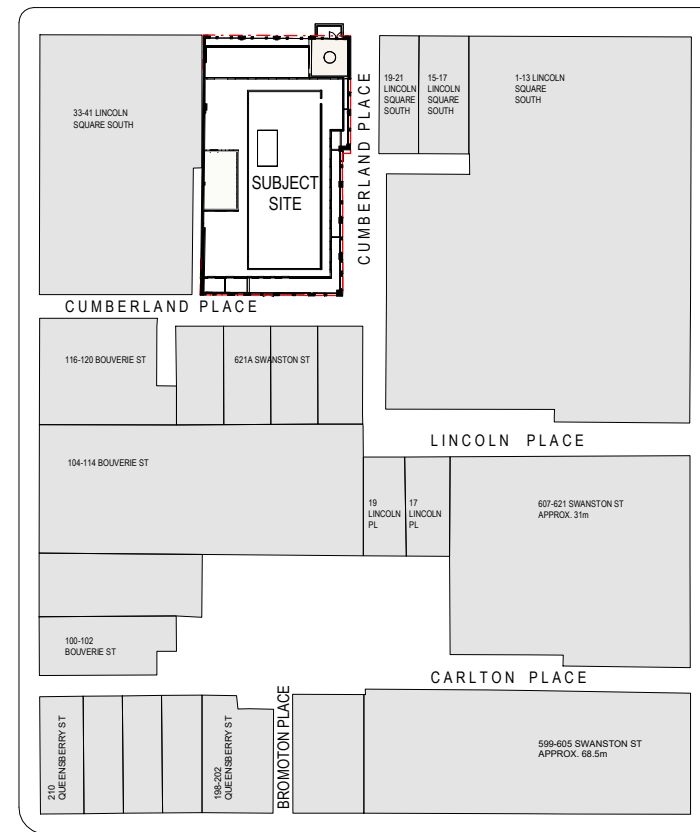
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LINCOLN SQUARE SOUTH



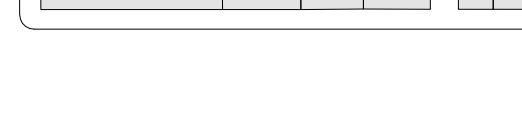
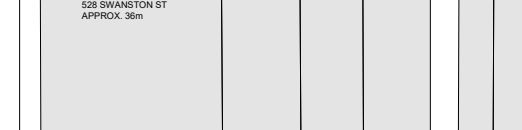
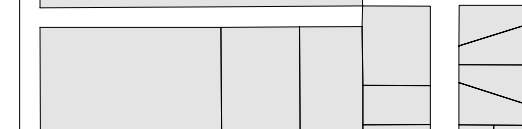
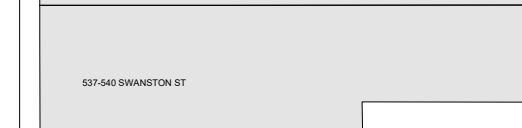
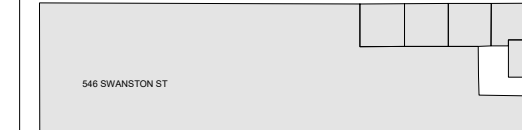
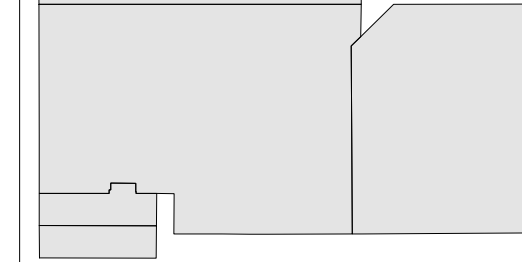
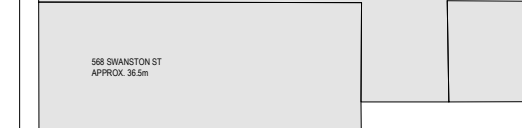
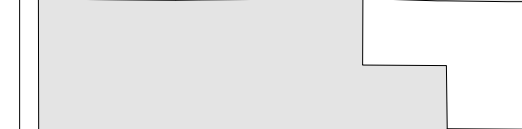
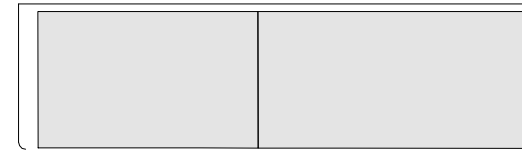
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SWANSTON STREET

QUEENSBERRY ST



PELHAM ST



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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
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Project Address
23-31 LINCOLN SQUARE, CARLTON

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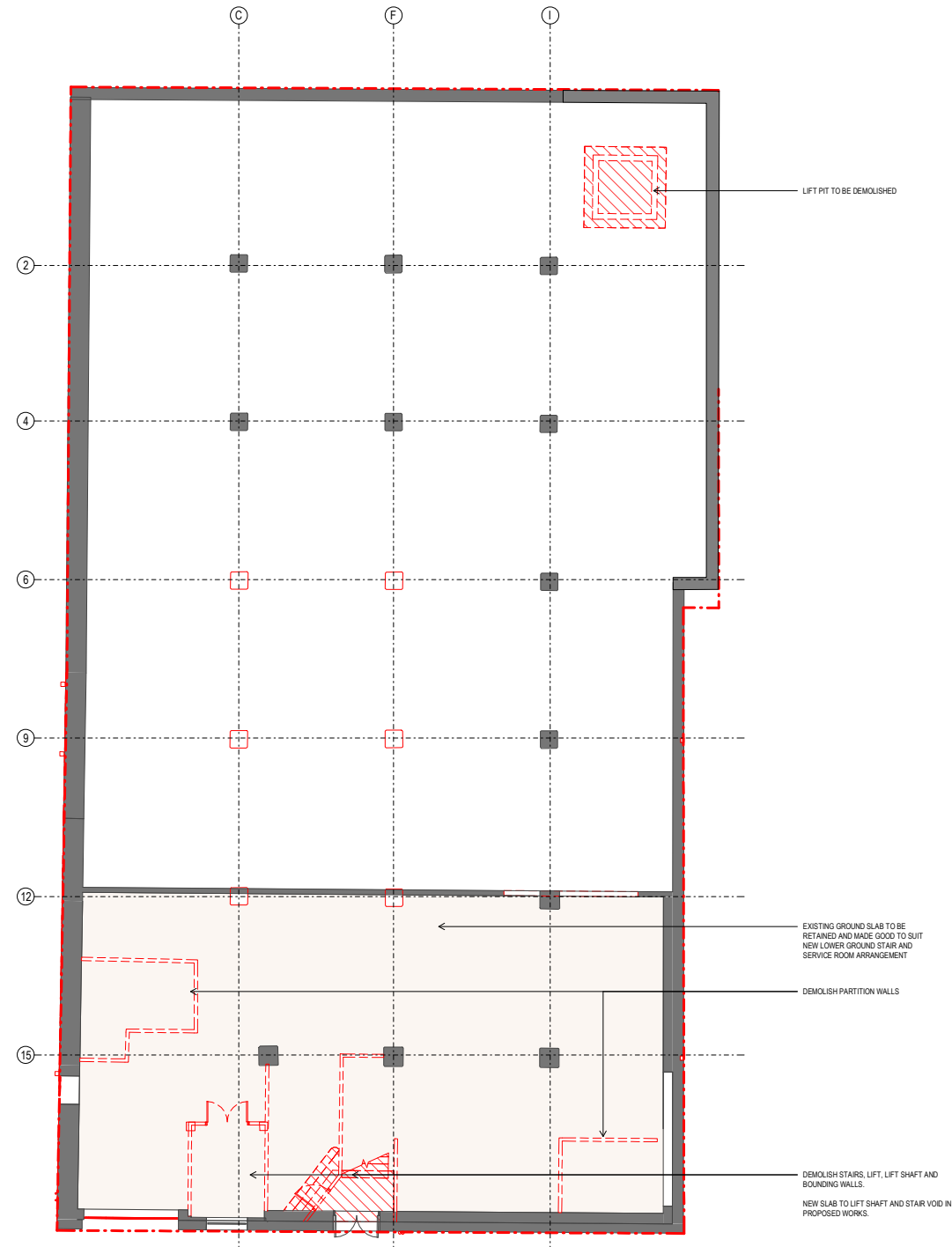
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Project Title
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Project Address
23-31 LINCOLN SQUARE, CARLTON

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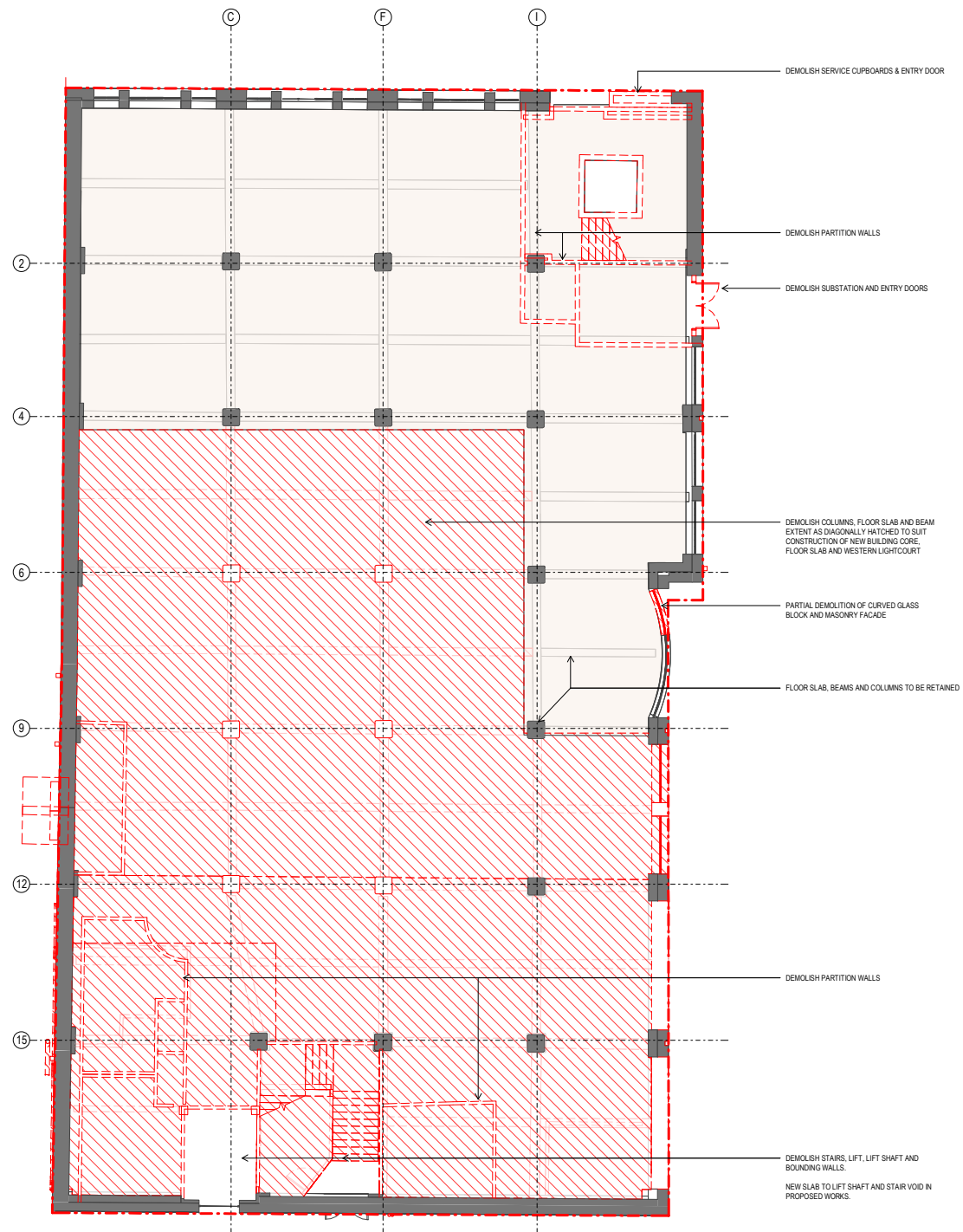
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Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

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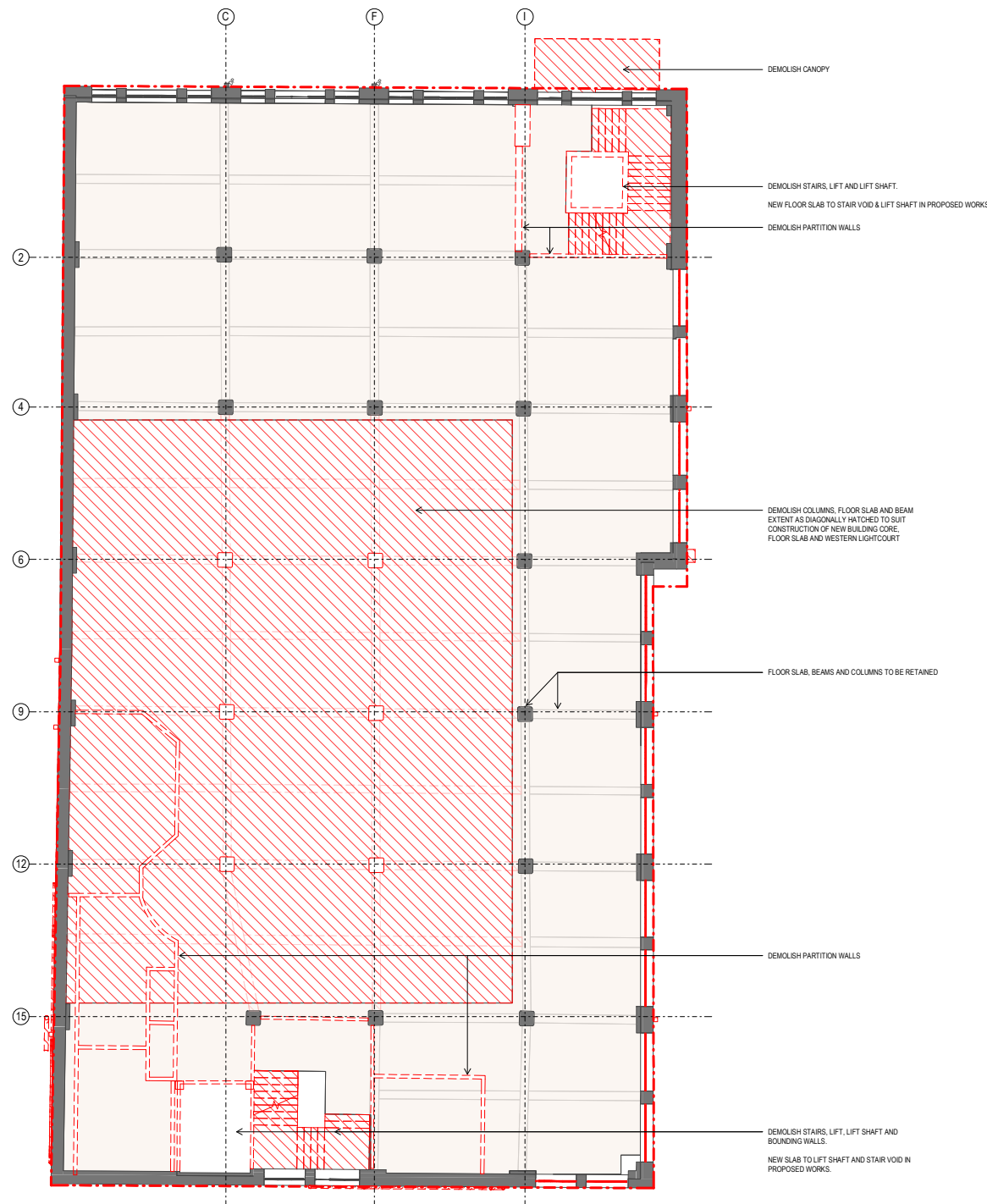
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LINCOLN SQUARE

Project Address
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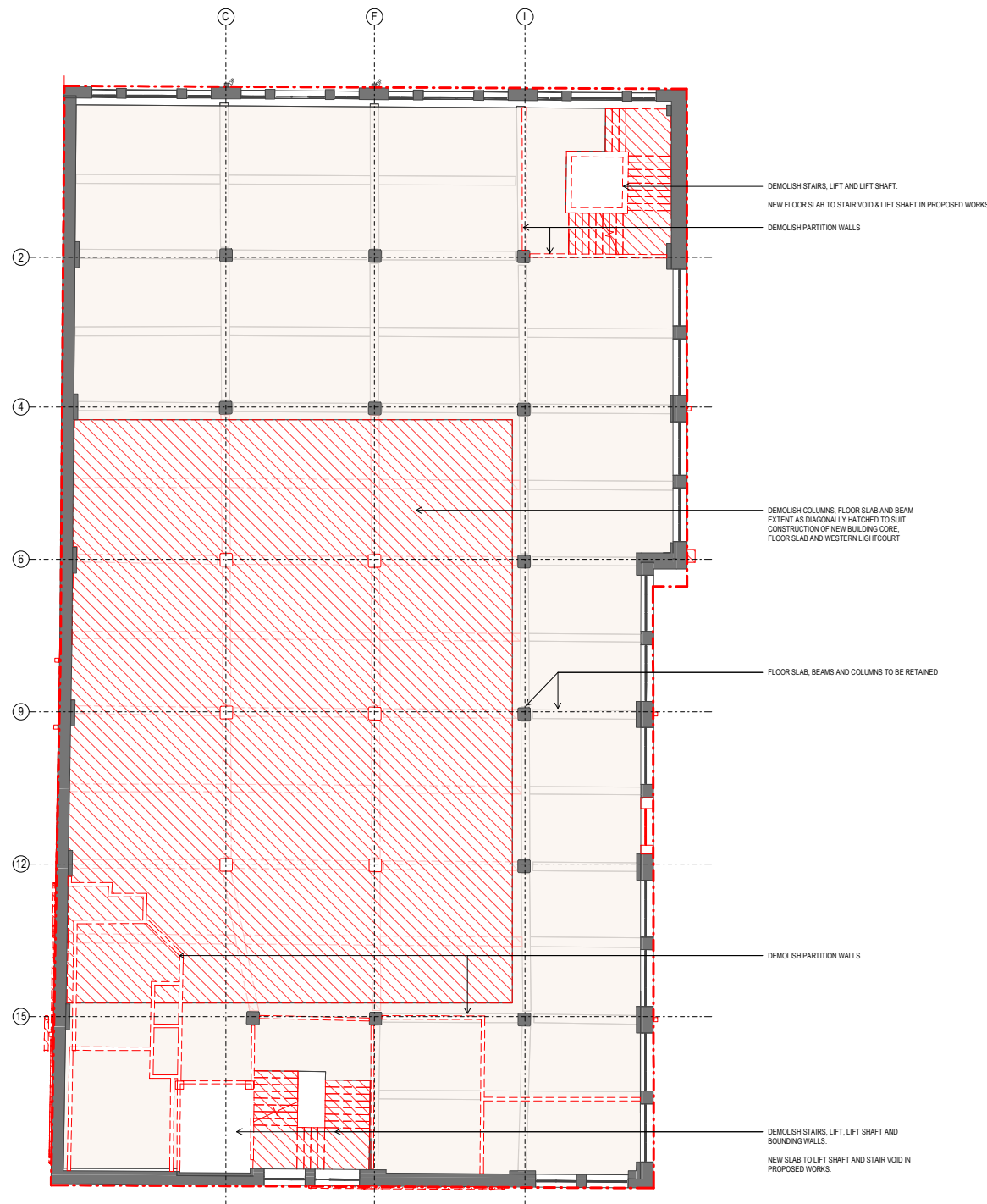
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Project Title
LINCOLN SQUARE

Project Address
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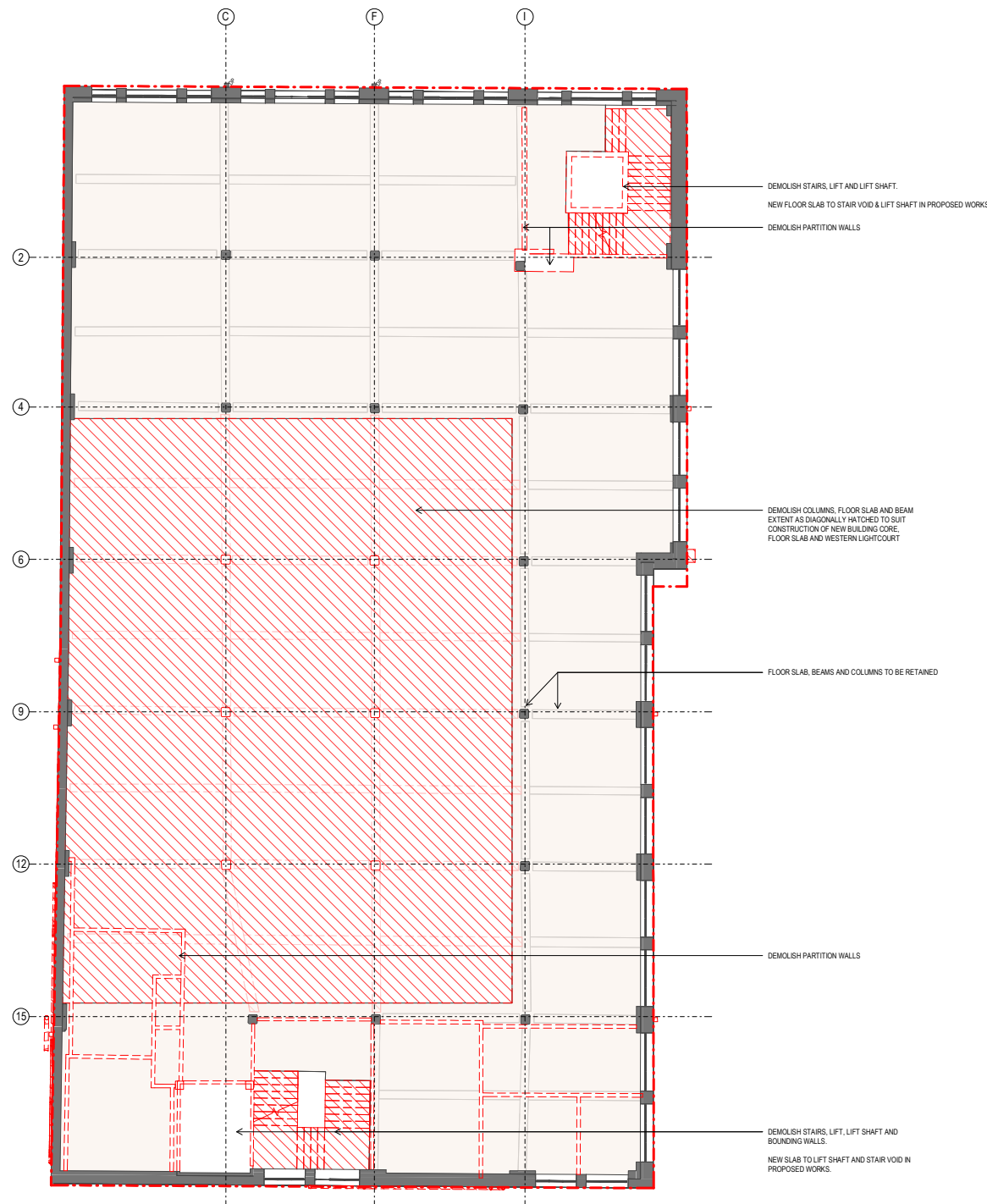
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Project Title
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Project Address
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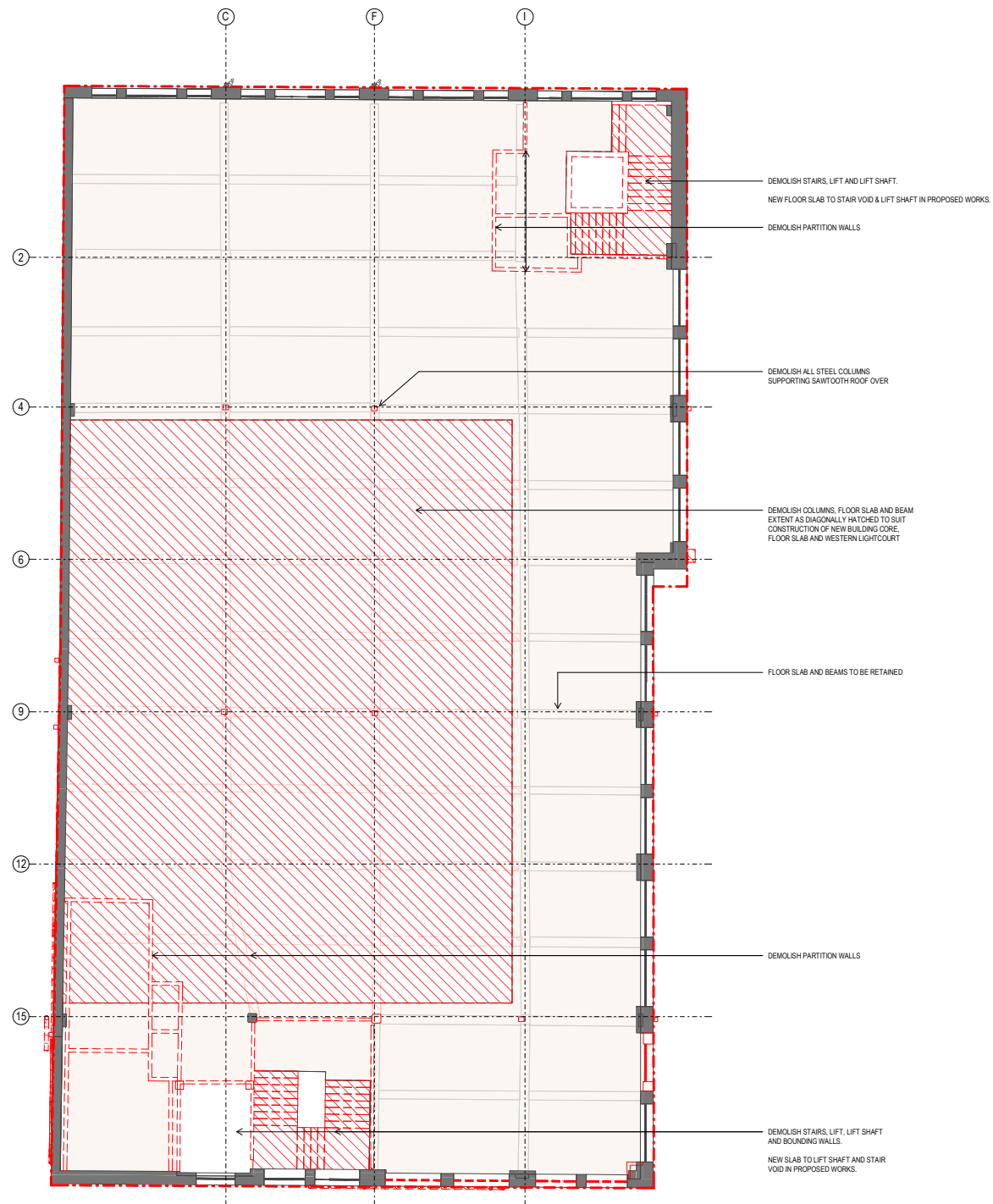
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ABN: 8406394261 NSW Nominated Architects Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
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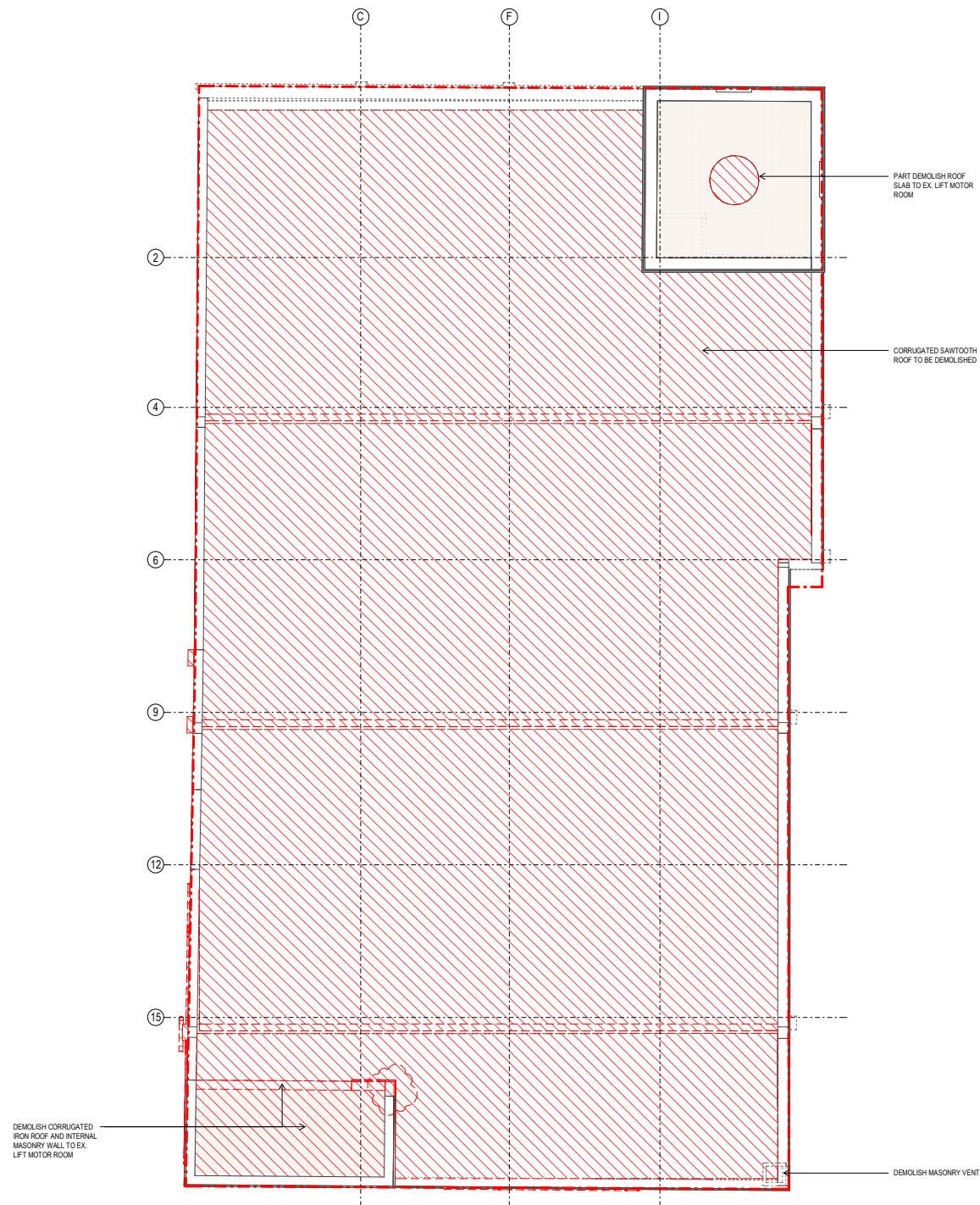
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ABN: 8406394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
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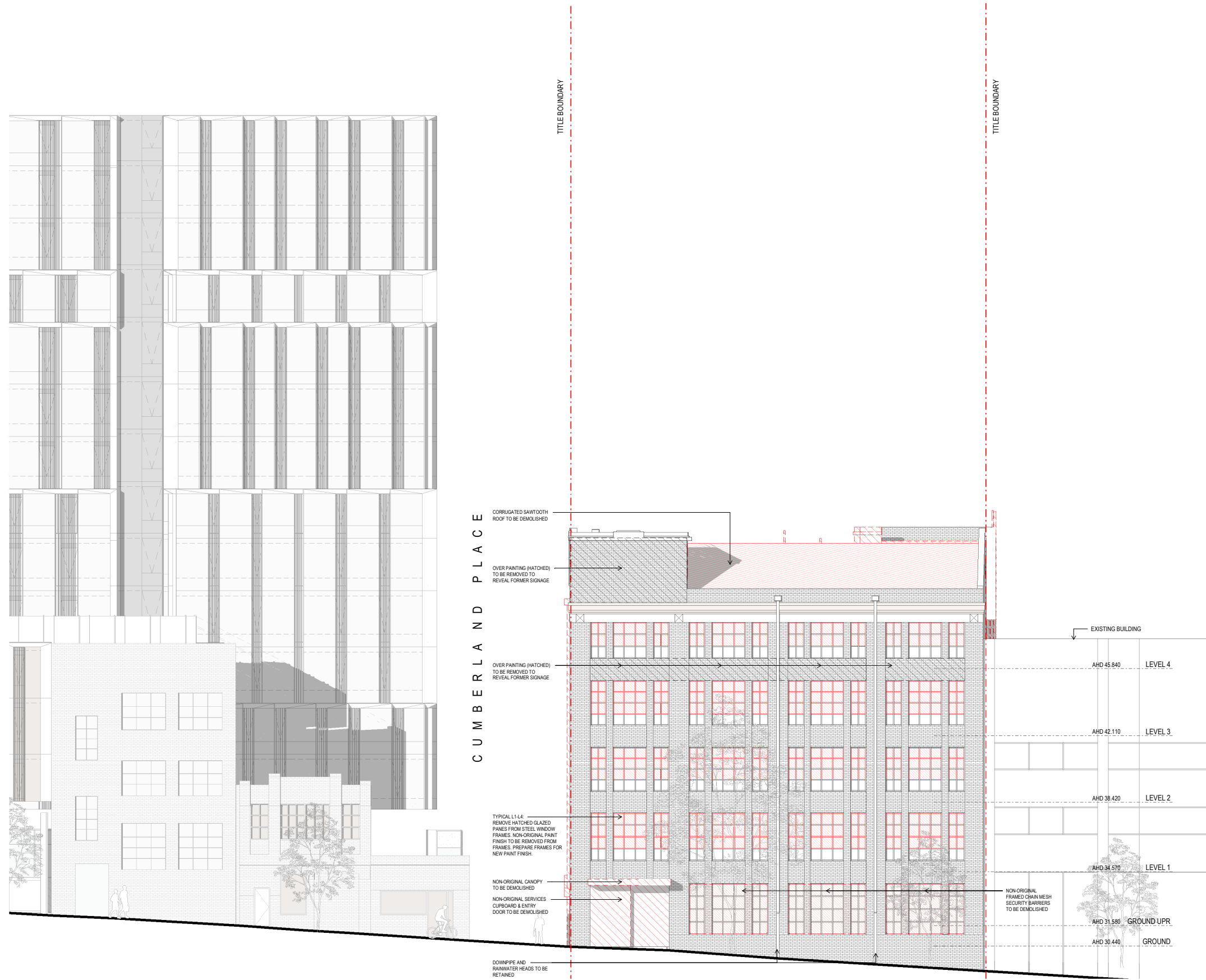
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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
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Drawing Title
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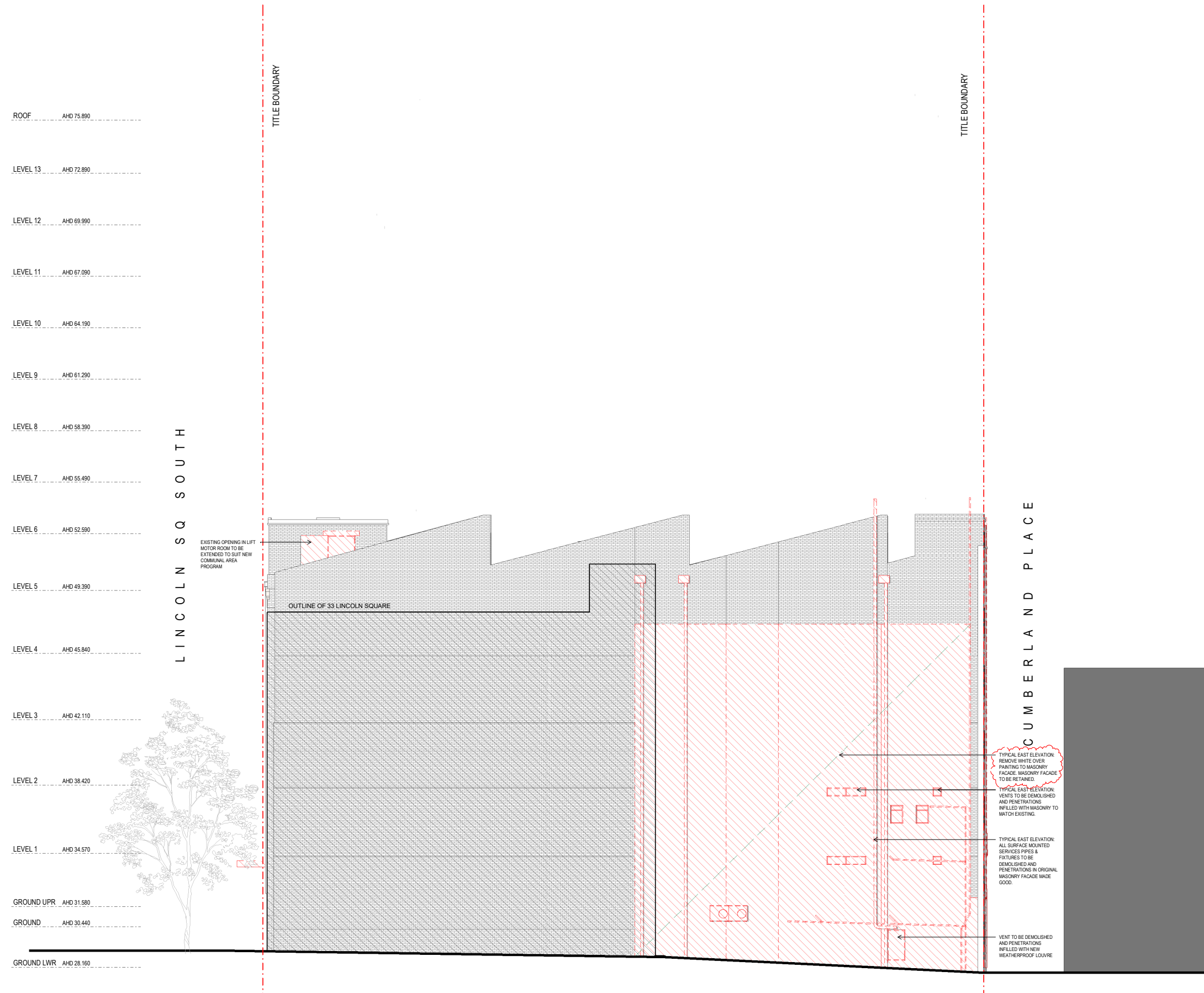
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Project No	Drawing No	Revision
2761	TP00.09	1

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all elevations and shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of requested shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date

hayball

Melbourne	Sydney	Brisbane	Canberra
Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644	Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328	Level 5 293 Queen Street Brisbane Qld 4000 T +61 7 3211 9821	Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9696 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
DEMOLITION ELEVATION - WEST

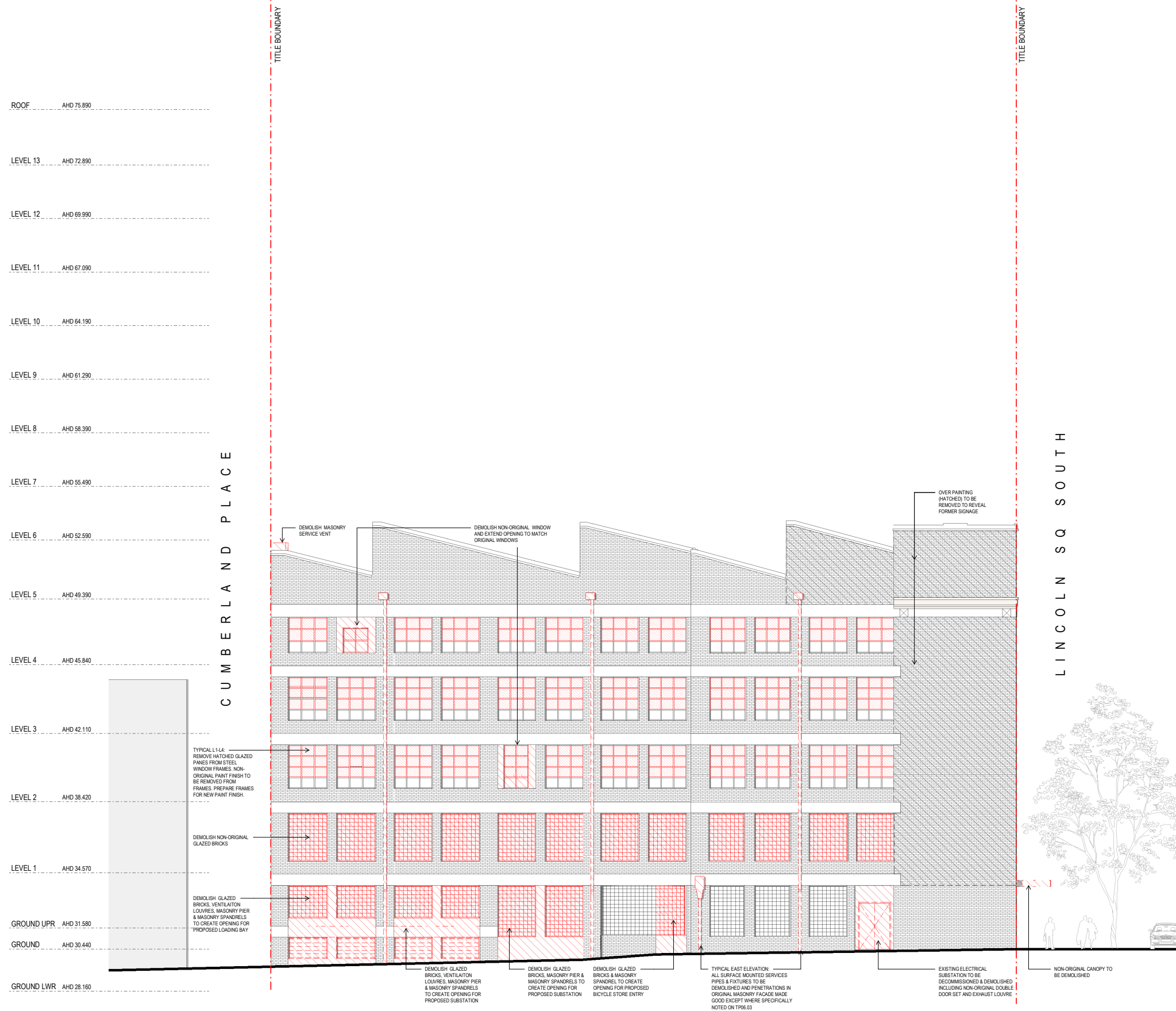
Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:19 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP00.10	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all elevations and shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



1	TOWN PLANNING SUBMISSION	04/11/2024
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Melbourne Sydney Brisbane Canberra
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 Level 5 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Level 1 33 Alana Street Brisbane QLD 4000 T +61 7 3211 9821
 Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 8406394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
DEMOLITION ELEVATION - EAST

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:22 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP00.11	1

Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall be provided on all shop drawings. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of proposed shop drawings signed by the Architect/Consultant/Builder. Builder/Contractor grants the client a license to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9669 3644
 Level 5 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Level 1 33 Alana Street Brisbane QLD 4000 T +61 7 3211 9821
 Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 8406394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
DEMOLITION ELEVATION - SOUTH

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:25 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP00.12	1

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all elevations and shall also conform to the specifications, site drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



Rev	Description	Date
1	TOWN PLANNING SUBMISSION	04/11/2024



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9669 9344
 Level 5 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Level 1 33 Alana Street Brisbane QLD 4000 T +61 7 3211 9821
 Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
 23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED PLAN - LOWER GROUND

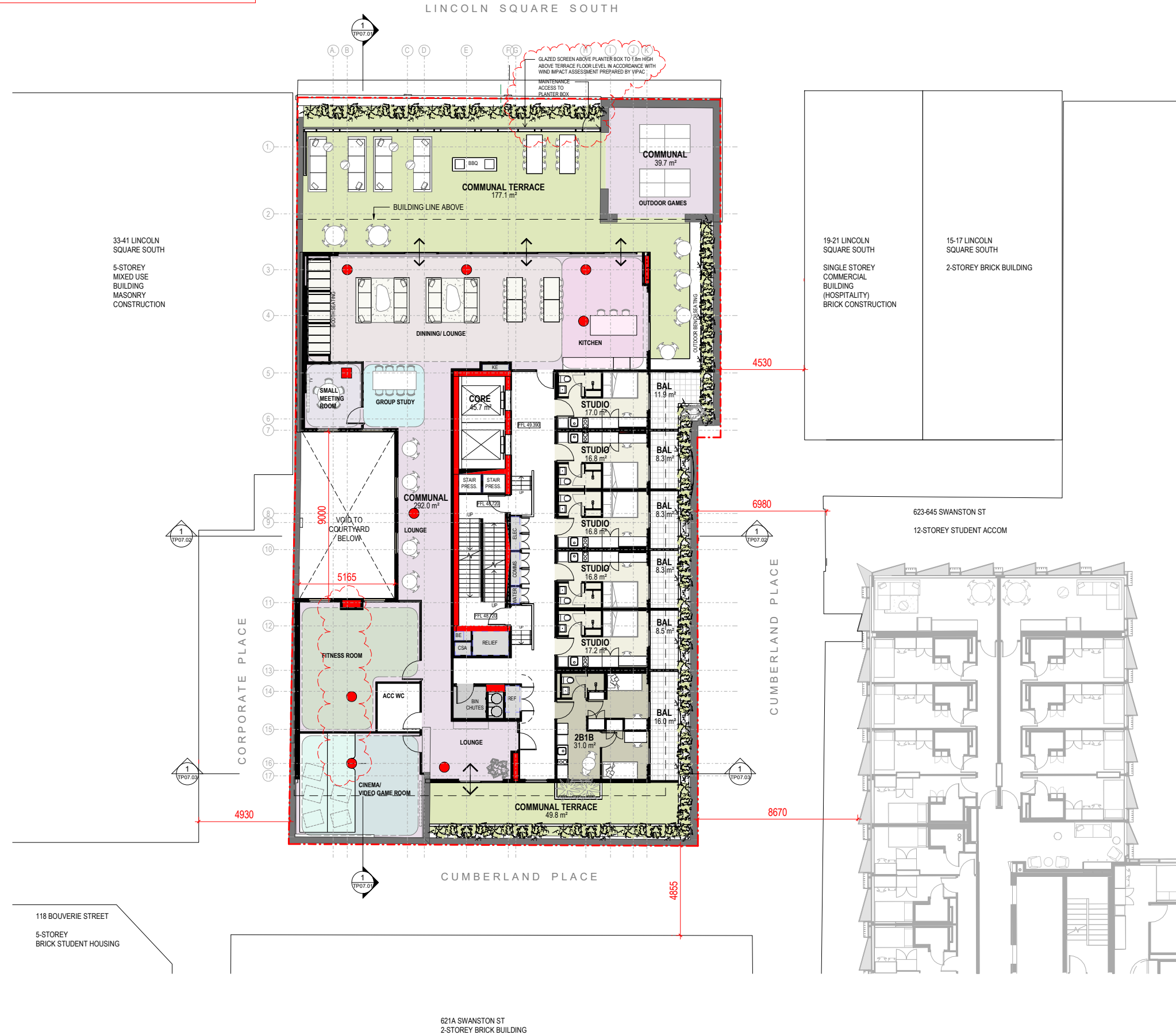
Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:26 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP01.00	1

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all plans and shall conform to the specifications. All drawings and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of requested shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purpose of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date



Melbourne Sydney Brisbane Canberra
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 Level 1 33 Albers Street, Brisbane QLD 4000 T +61 7 3211 9821
 Level 1 33 Albers Street, Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
 23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED PLAN - LEVEL 5

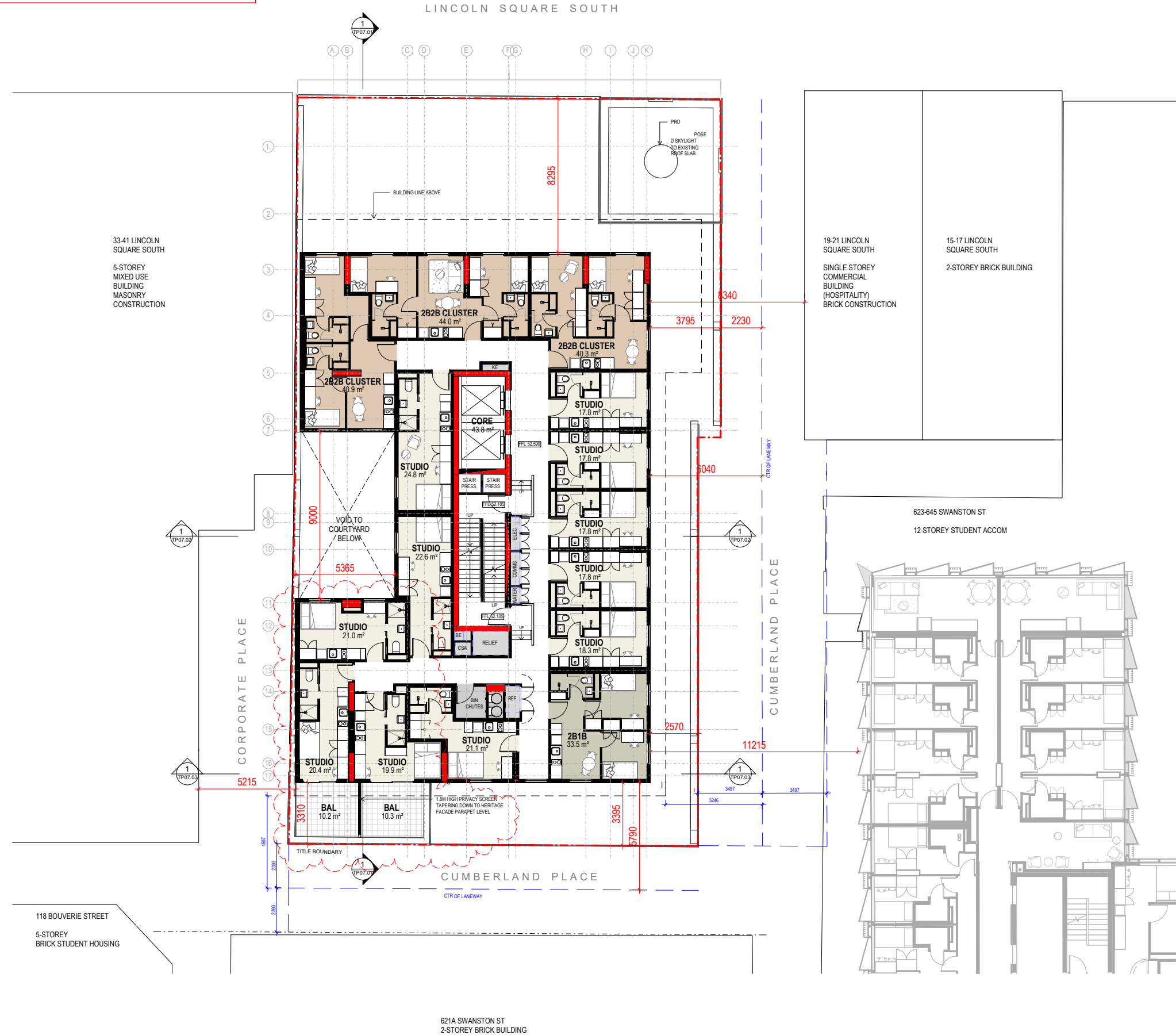
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TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:34 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP01.03	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all plans and shall conform to the specifications. All drawings and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of requested shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a license to use the Design for the purpose of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date



Melbourne	Sydney	Brisbane	Canberra
Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644	Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328	Level 5 293 Queen Street Brisbane QLD 4000 T +61 7 3211 9821	Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED PLAN - LEVEL 6

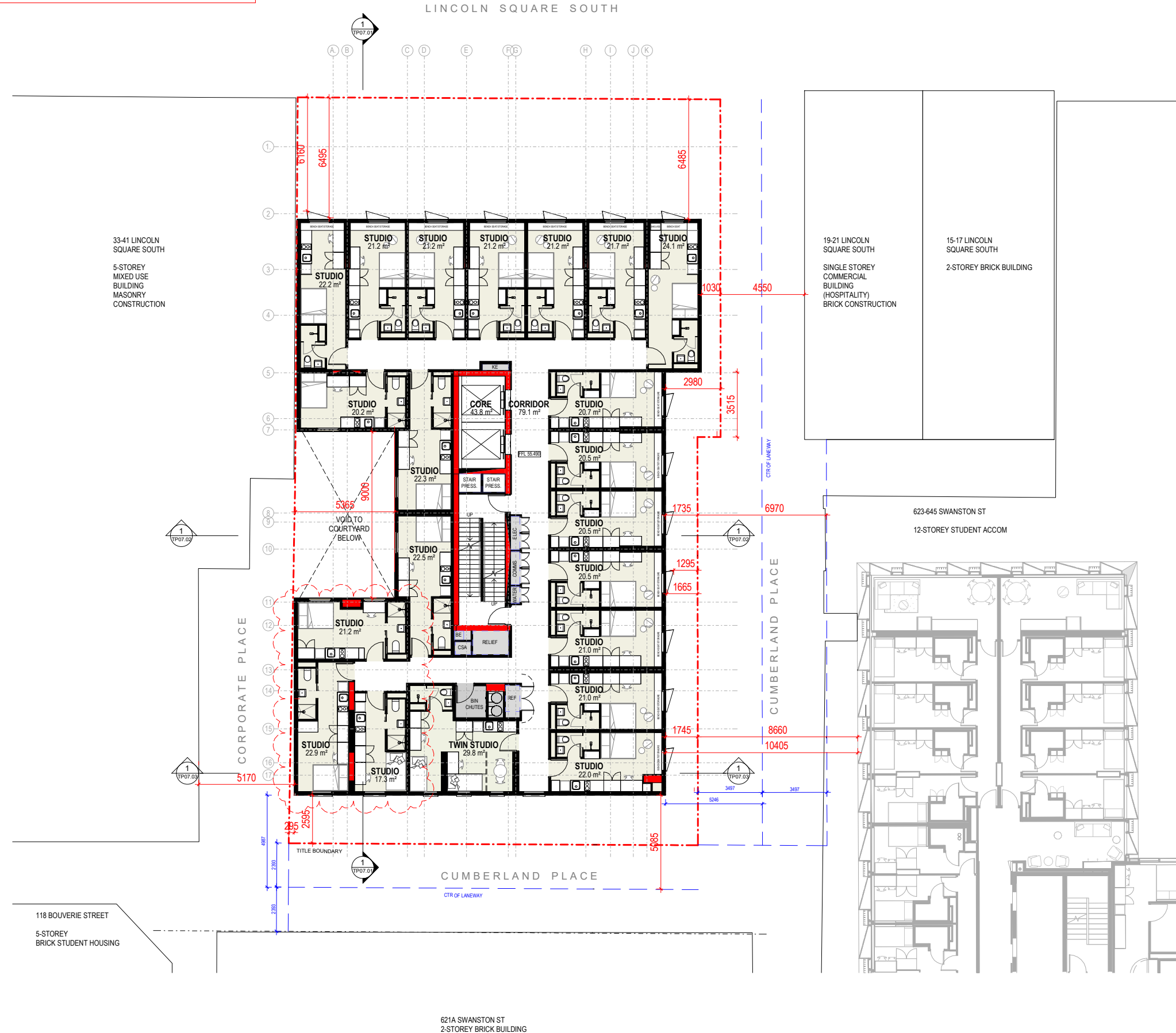
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Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:37 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP01.04	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all sheets and shall also conform to the specifications. All drawings and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of requested shop drawings signed by the Architect/Consultant/Builder. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644
 Level 5 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Level 1 33 Alana Street Brisbane QLD 4000 T +61 7 3211 9821
 Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
 23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED PLAN - LEVEL 7-13

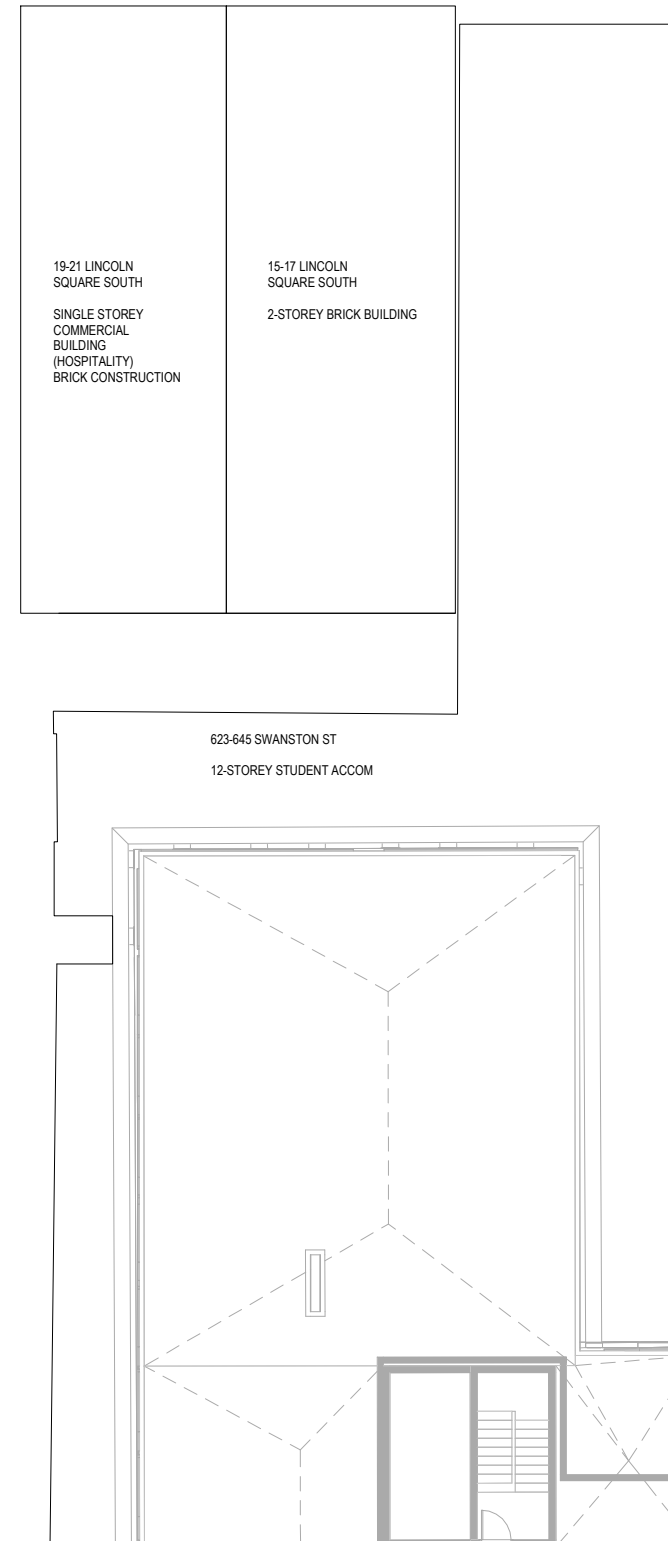
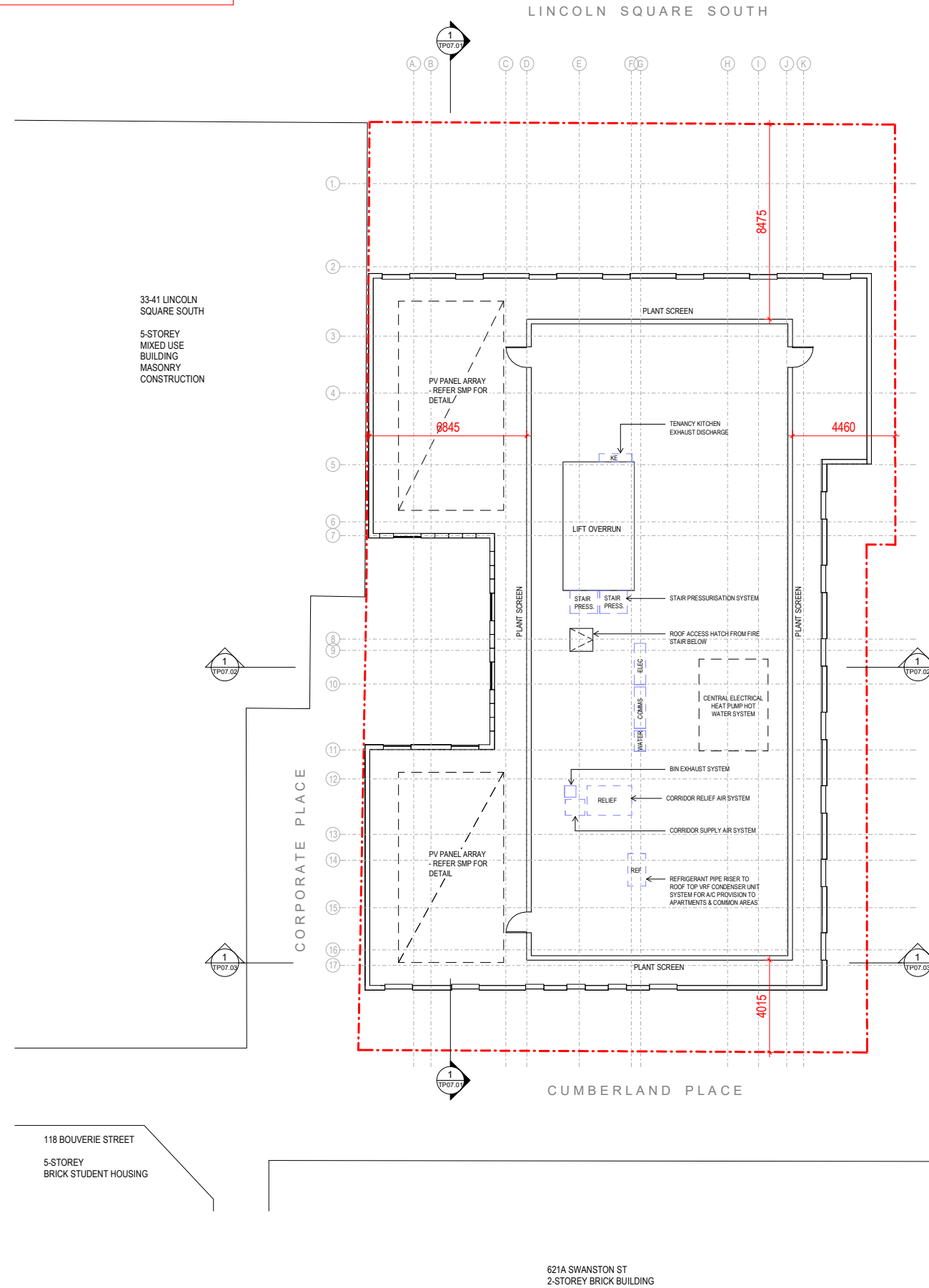
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TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:40 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP01.05	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all plans and shall conform to the specifications. All drawings and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date



Melbourne Sydney Brisbane Canberra
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 Level 1 33 Alana Street Brisbane Qld 4000 T +61 7 3211 9821
 Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
 23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED PLAN - ROOF PLAN

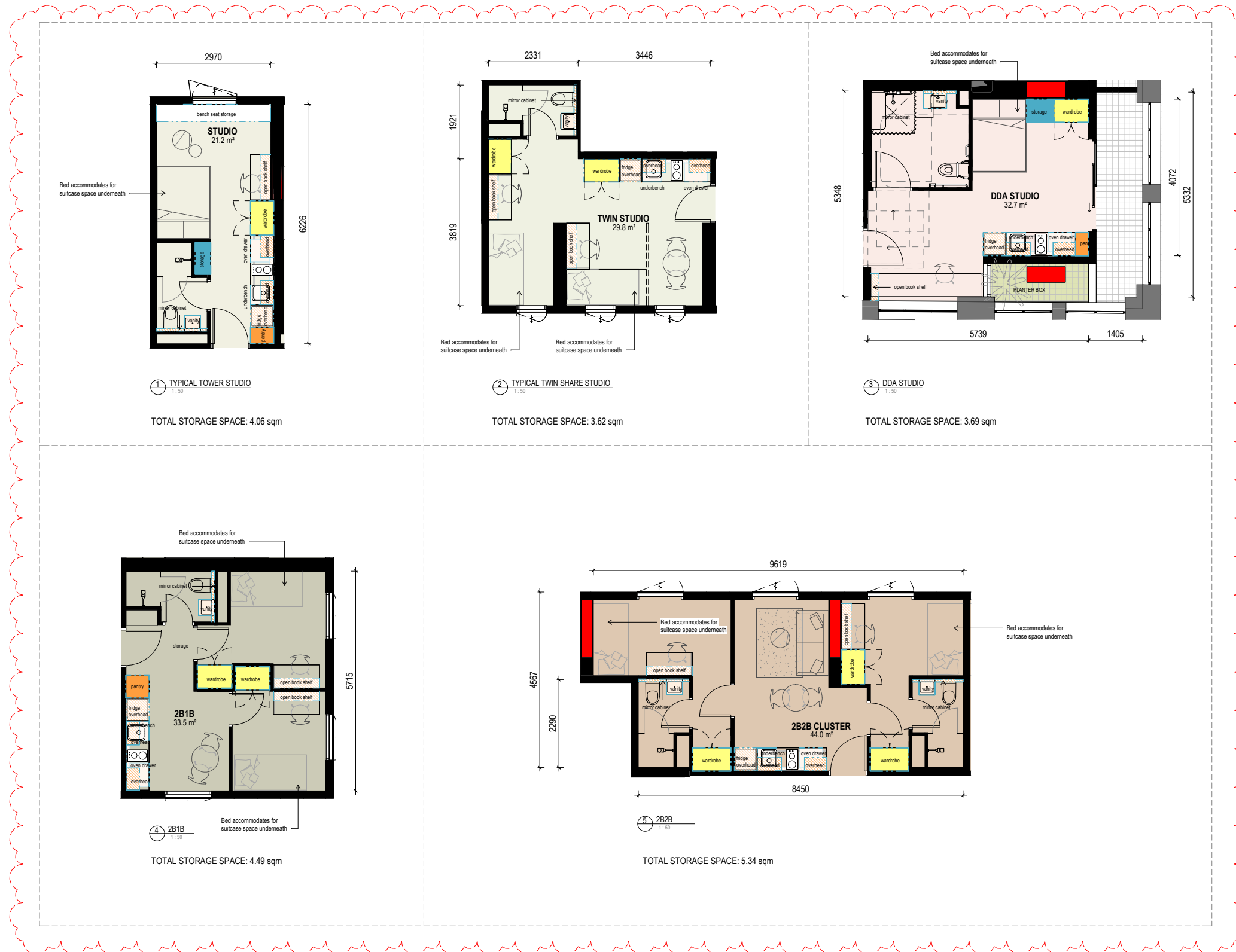
Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:41 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP01.06	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over actual measurements. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence work until the manufacturer has signed the Architect/Consultant's shop drawings. The Architect/Consultant shall retain copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date



Melbourne	Sydney	Brisbane	Canberra
Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644	Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328	Level 5 293 Queen Street Brisbane QLD 4000 T +61 7 3211 9821	Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9660 9329

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
TYPICAL ROOM TYPES

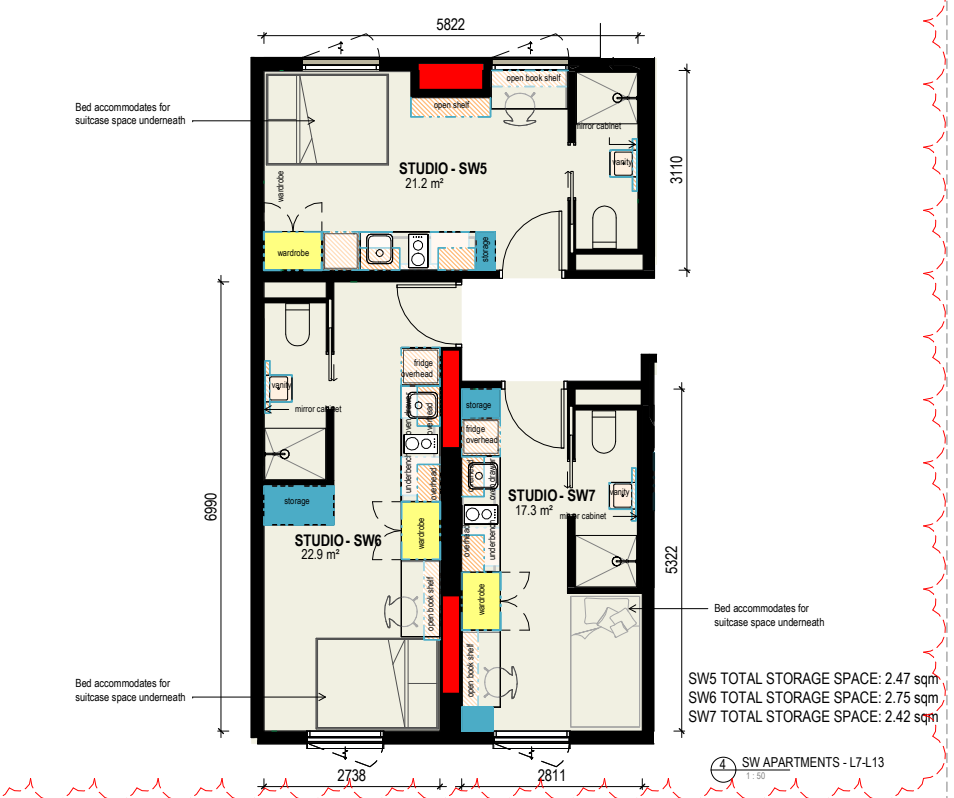
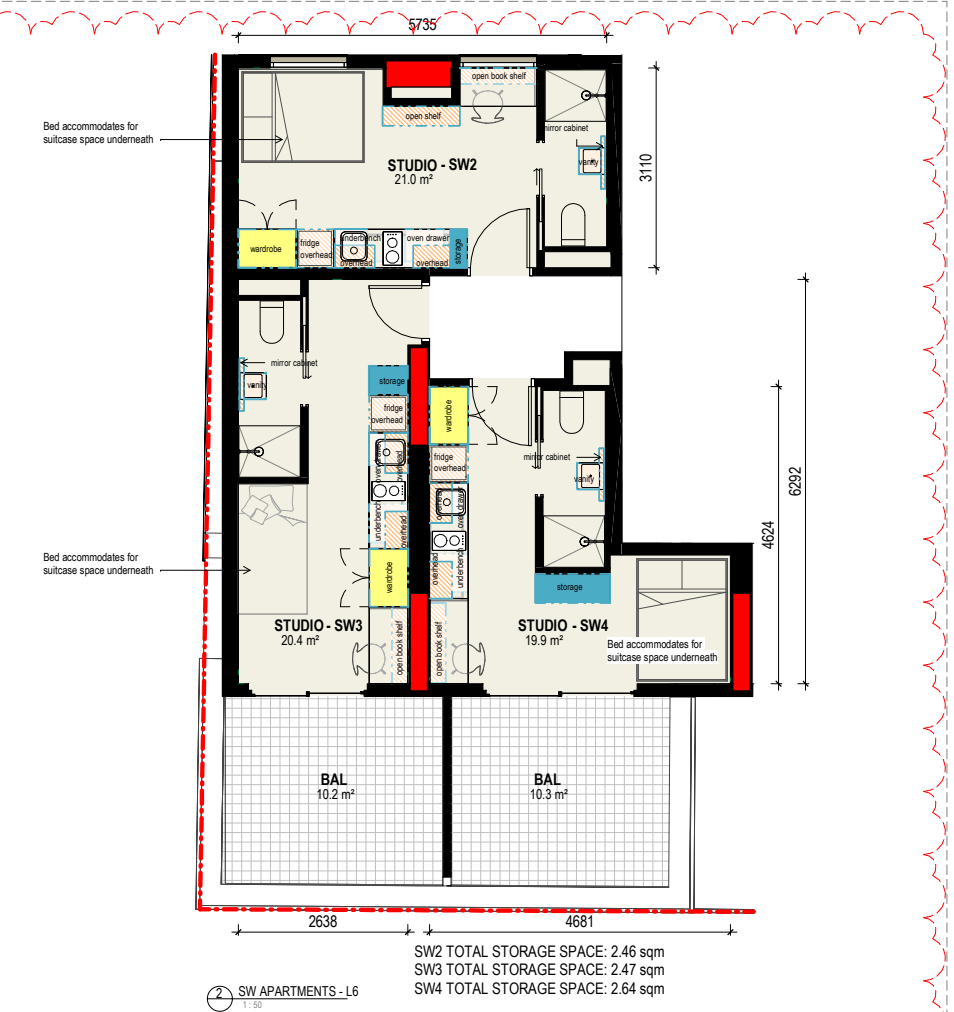
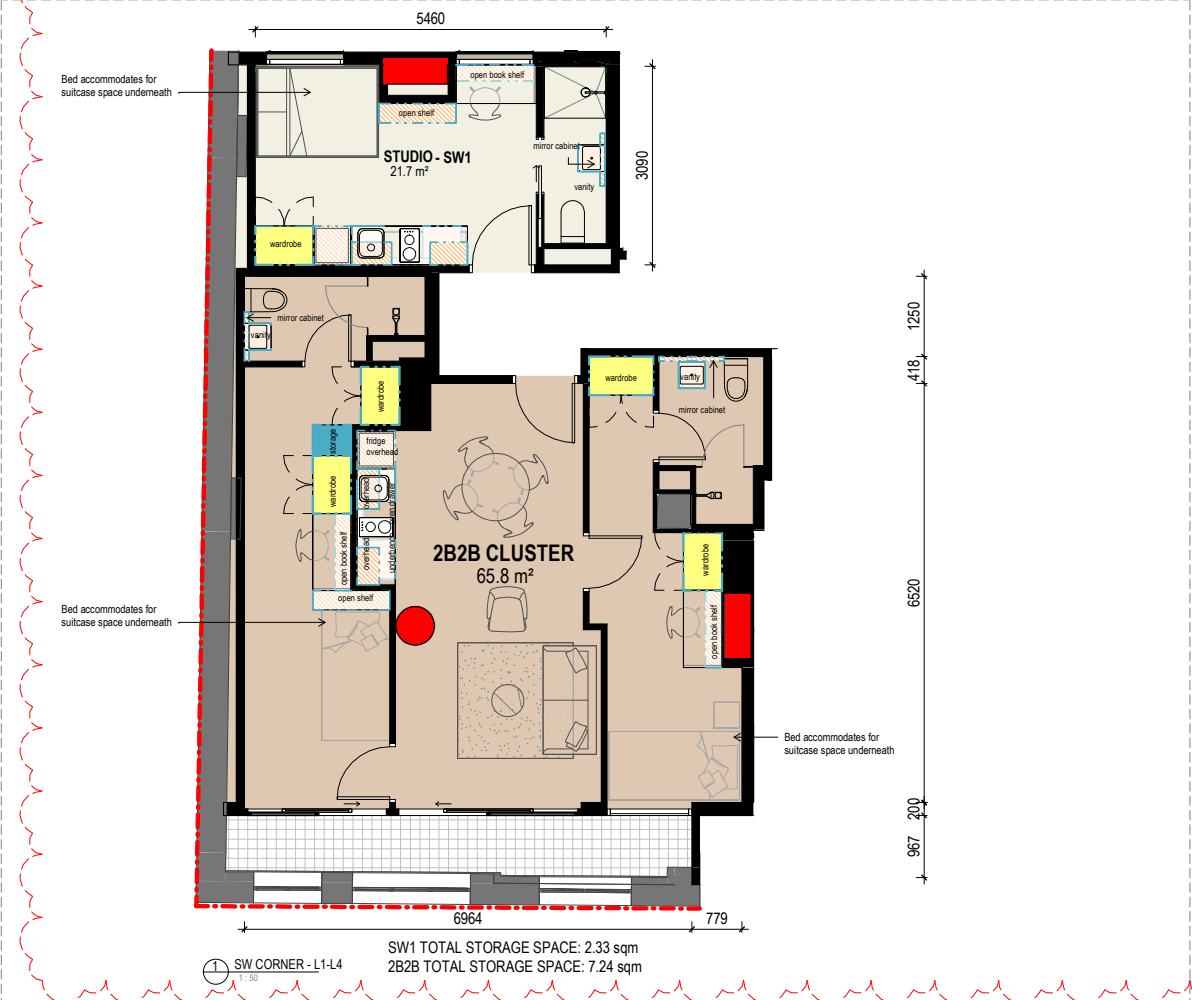
Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:46 PM	1:50 @A1

Project No	Drawing No	Revision
2761	TP02.01	2

Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall be provided over scale and shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a license to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date

hayball

Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Level 5 11-17 Buckingham Street Level 1 33 Albers Street
 Melbourne VIC 3000 Surry Hills NSW 2010 Brisbane Qld 4000 Canberra ACT 2601
 T +61 3 9699 3644 T +61 2 9660 9328 T +61 7 3211 9821 T +61 2 9660 9329

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
 Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
TYPICAL ROOM TYPES

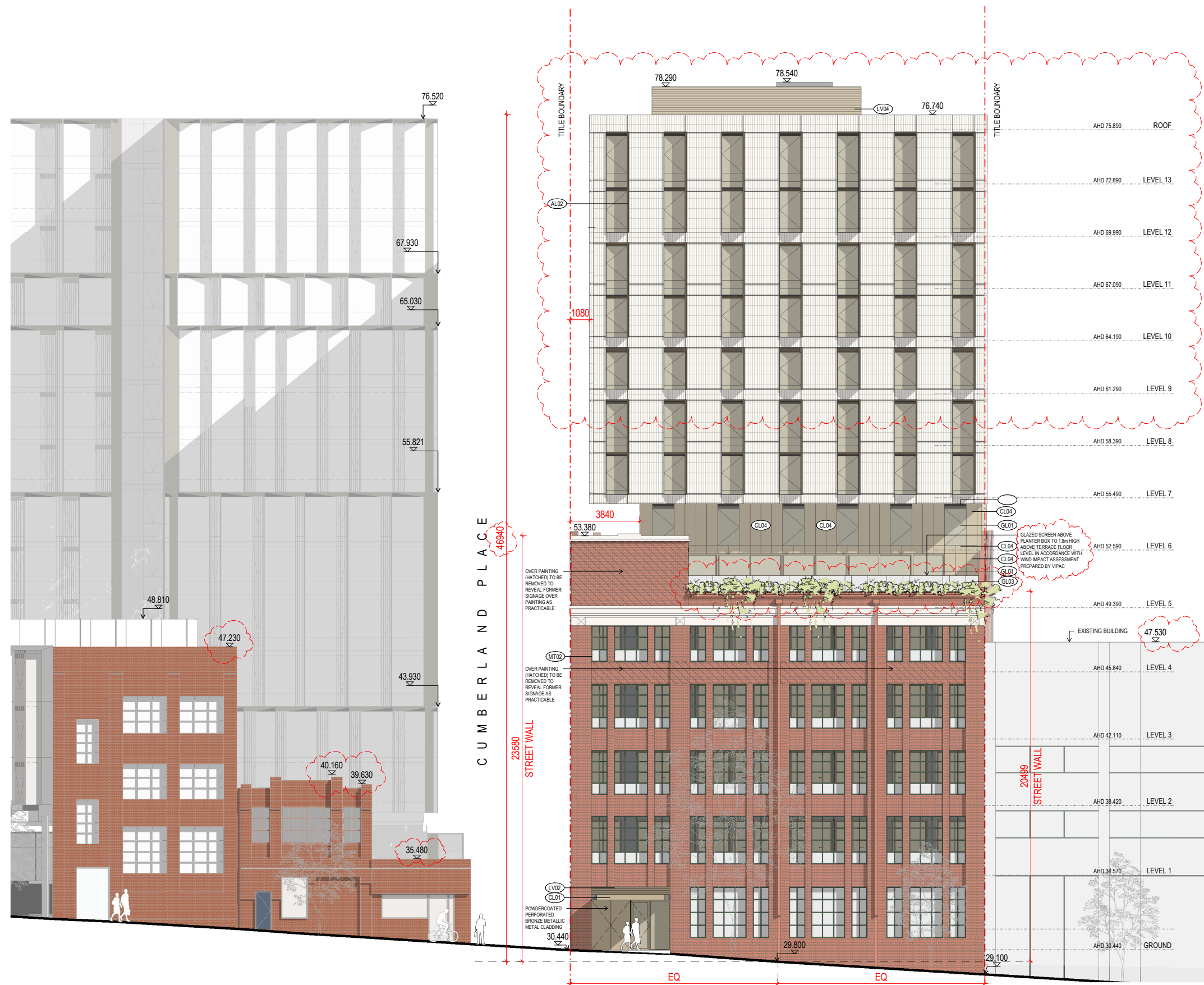
Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:30:51 PM	1:50 @A1

Project No	Drawing No	Revision
2761	TP02.02	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over actual work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a license to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



EXTERNAL FINISHES LEGEND	
CODE	DESCRIPTION
AL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02	DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
CL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM CLADDING
CL02	ALABASTER CERAMIC TILE CLADDING - RANGE OF SURFACE FINISHES IN PIXELLATED FORMAT
CL04	DARK BRONZE METALLIC POWDERCOAT RIBBED METAL CLADDING
GL01	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED CASEMENT SASH WINDOW - BRONZE TINT
GL02	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED SPANDREL PANEL WITH BACKPAN - BRONZE TINT
GL03	CLEAR TOUGHENED GLAZING
GL04	CLEAR EXISTING GLAZING
GL05	CLEAR LOW E DOUBLE GLAZING
LV01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV02	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV03	METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES TO MATCH 'MT01'
LV04	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED UPSIDE DOWN PLANT SCREEN LOUVRES
MT01	METALLIC 2-PAC PAINT FINISH TO METAL FRAMES & PANELS
MT02	METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03	METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES

Rev	Description	Date
2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024



Melbourne Sydney Brisbane Canberra
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 Melbourne VIC 3000 Surry Hills NSW 2010 Brisbane QLD 4000 Canberra ACT 2601
 T +61 3 9699 3644 T +61 2 9660 9328 T +61 7 3211 9821 T +61 2 9660 9329

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED NORTH ELEVATION

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:03 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP06.01	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over actual work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a license to use the Design for the purpose of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025

EXTERNAL FINISHES LEGEND

CODE	DESCRIPTION
AL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02	DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
CL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM CLADDING
CL02	ALABASTER CERAMIC TILE CLADDING - RANGE OF SURFACE FINISHES IN PIXELLATED FORMAT
CL04	DARK BRONZE METALLIC POWDERCOAT RIBBED METAL CLADDING
GL01	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED CASEMENT SASH WINDOW - BRONZE TINT
GL02	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED SPANDREL PANEL WITH BACKPAN - BRONZE TINT
GL03	CLEAR TOUGHENED GLAZING
GL04	CLEAR EXISTING GLAZING
GL05	CLEAR LOW E DOUBLE GLAZING
LV01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV02	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV03	METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES TO MATCH MT01
LV04	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED UPSIDE DOWN PLANT SCREEN LOUVRES
MT01	METALLIC 2-PAC PAINT FINISH TO METAL FRAMES & PANELS
MT02	METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03	METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES

2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9609 3644
 Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Level 1 33 Albers Street Brisbane QLD 4000 T +61 7 3211 9811
 Level 1 33 Albers Street Canberra ACT 2601 T +61 2 9660 9329

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED SOUTH ELEVATION

Status
TOWN PLANNING

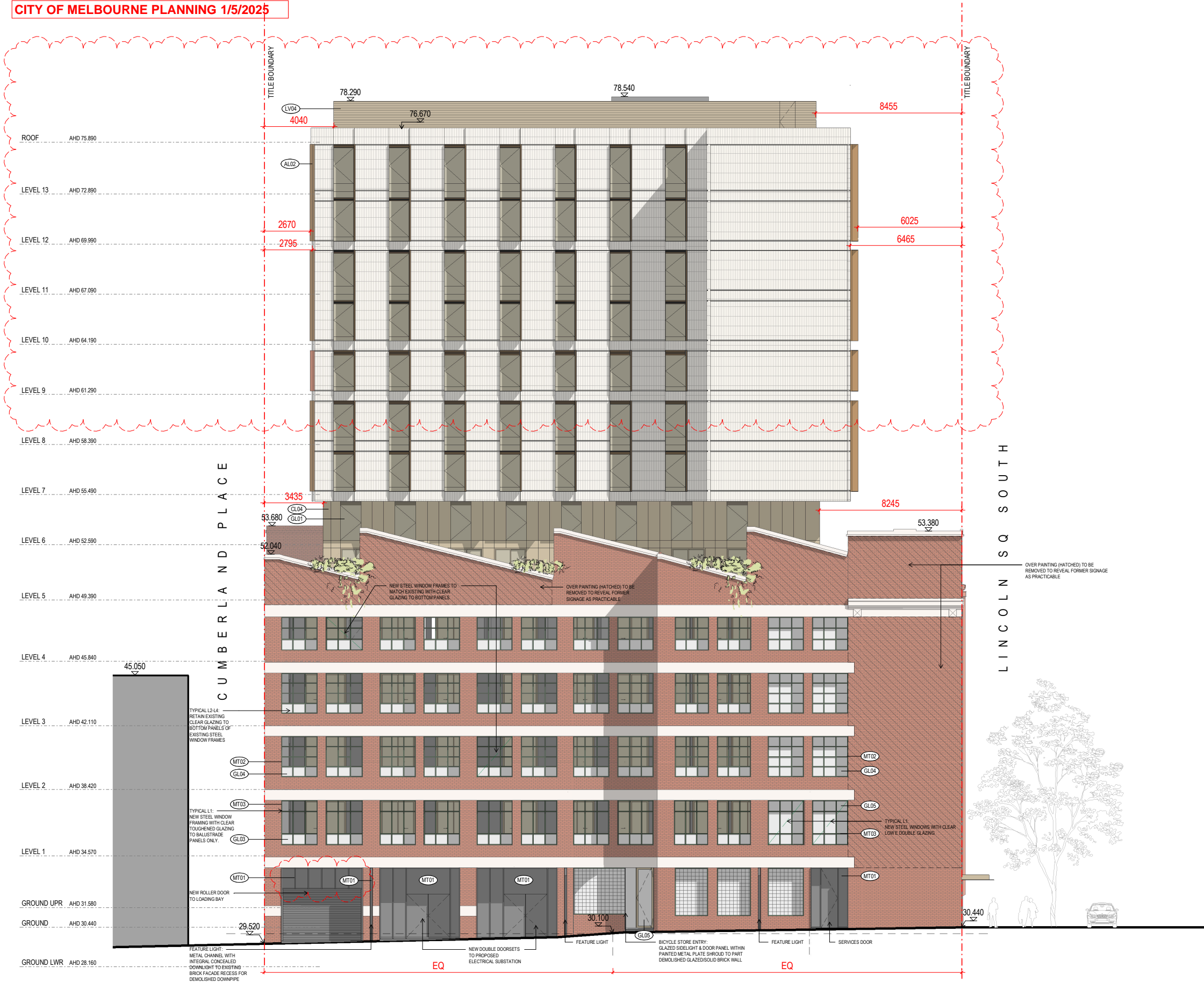
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Author	Checker	31/03/2025 4:31:12 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP06.02	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all elevations and shall also conform to the specifications. All drawings and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a license to use the Design for the purpose of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



EXTERNAL FINISHES LEGEND	
CODE	DESCRIPTION
AL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02	DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
CL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM CLADDING
CL02	ALABASTER CERAMIC TILE CLADDING - RANGE OF SURFACE FINISHES IN PIXELLATED FORMAT
CL04	DARK BRONZE METALLIC POWDERCOAT RIBBED METAL CLADDING
GL01	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED CASEMENT SASH WINDOW - BRONZE TINT
GL02	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED SPANDREL PANEL WITH BACKPAN - BRONZE TINT
GL03	CLEAR TOUGHENED GLAZING
GL04	CLEAR EXISTING GLAZING
GL05	CLEAR LOW E DOUBLE GLAZING
LV01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV02	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV03	METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES TO MATCH MT01
LV04	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED UPSIDE DOWN PLANT SCREEN LOUVRES
MT01	METALLIC 2-PAC PAINT FINISH TO METAL FRAMES & PANELS
MT02	METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03	METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES

Rev	Description	Date
2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Level 5 11-17 Buckingham Street Level 1 31 Albers Street
 Melbourne VIC 3000 Surry Hills NSW 2010 Brisbane QLD 4000 Canberra ACT 2601
 T +61 3 9699 3644 T +61 2 9660 9328 T +61 7 3211 9821 T +61 2 9660 9329

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED EAST ELEVATION

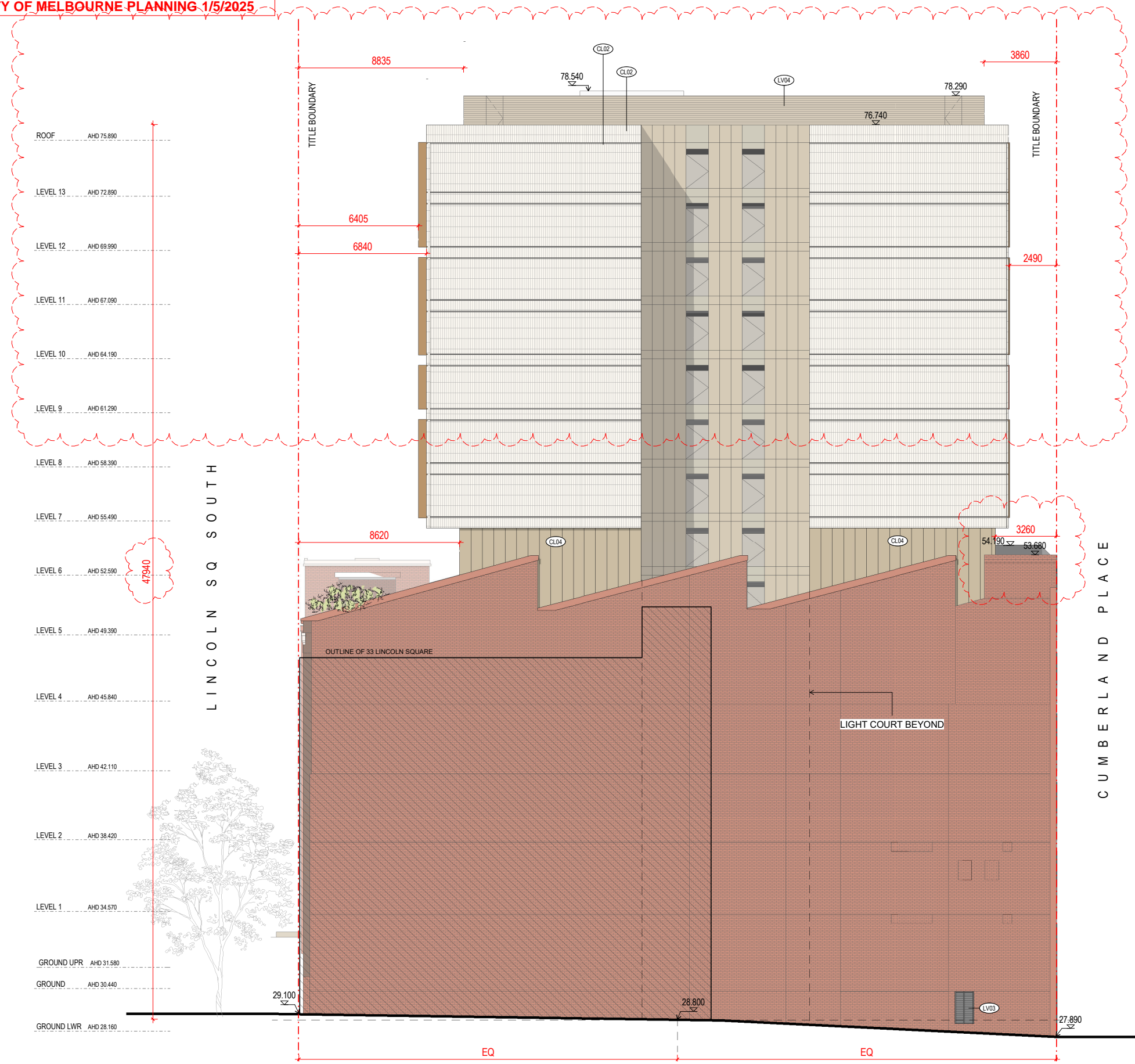
Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:18 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP06.03	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all elevations and shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a license to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only. © Copyright 2008 All rights reserved.

CITY OF MELBOURNE PLANNING 1/5/2025



EXTERNAL FINISHES LEGEND	
CODE	DESCRIPTION
AL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02	DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
CL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM CLADDING
CL02	ALABASTER CERAMIC TILE CLADDING - RANGE OF SURFACE FINISHES IN PIXELLATED FORMAT
CL04	DARK BRONZE METALLIC POWDERCOAT RIBBED METAL CLADDING
GL01	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED CASEMENT SASH WINDOW - BRONZE TINT
GL02	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED SPANDREL PANEL WITH BACKPAN - BRONZE TINT
GL03	CLEAR TOUGHENED GLAZING
GL04	CLEAR EXISTING GLAZING
GL05	CLEAR LOW E DOUBLE GLAZING
LV01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV02	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV03	METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES TO MATCH 'MT01'
LV04	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED UPSIDE DOWN PLANT SCREEN LOUVRES
MT01	METALLIC 2-PAC PAINT FINISH TO METAL FRAMES & PANELS
MT02	METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03	METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES

Rev	Description	Date
2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644
 Level 5 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Level 1 33 Albers Street Brisbane QLD 4000 T +61 7 3211 9821
 Level 1 33 Albers Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
 23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED WEST ELEVATION

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:25 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP06.04	2

Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall be provided on all elevations and shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025

EXTERNAL FINISHES LEGEND	
CODE	DESCRIPTION
AL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02	DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
CL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM CLADDING
CL02	ALABASTER CERAMIC TILE CLADDING - RANGE OF SURFACE FINISHES IN PIXELLATED FORMAT
CL04	DARK BRONZE METALLIC POWDERCOAT RIBBED METAL CLADDING
GL01	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED CASEMENT SASH WINDOW - BRONZE TINT
GL02	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED SPANDREL PANEL WITH BACKPAN - BRONZE TINT
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LV02	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV03	METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES TO MATCH MT01
LV04	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED UPSIDE DOWN PLANT SCREEN LOUVRES
MT01	METALLIC 2-PAC PAINT FINISH TO METAL FRAMES & PANELS
MT02	METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03	METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES

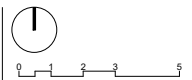


Project Title
LINCOLN SQUARE
 23-31 LINCOLN SQUARE, CARLTON



Melbourne Sydney Brisbane Canberra
 Level 1 200 Flanders Lane Melbourne VIC 3000 T +61 3 9689 3644
 Ground Floor 11-17 Balaclava Street Melbourne VIC 3000 T +61 3 9689 3644
 Level 8 291 Queen Street Brisbane QLD 4002 T +61 7 3211 9621
 Level 1 33 Alinga Street Canberra ACT 2601 T +61 2 9660 9329
 AIN 84008394261 NSW Nominated Architects Tom Jordan 7121 Richard Leonard 7122 David Toroff 8028 Franca Young 7014

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Rev	Date	Description
1	31/03/2025	TOWN PLANNING RFP

Drawing Title
PROPOSED EAST DETAIL ELEVATION

Status
CONSTRUCTION ISSUE

Project No
 2761
 Drawing No
 TP06.05
 Revision
 1

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project, but only for the particular stages of services for which Hayball performs the required architectural services. © Copyright 2008 All rights reserved.

CITY OF MELBOURNE PLANNING 1/5/2025

EXTERNAL FINISHES LEGEND	
CODE	DESCRIPTION
AL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02	DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
CL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM CLADDING
CL02	ALABASTER CERAMIC TILE CLADDING - RANGE OF SURFACE FINISHES IN PIXELLATED FORMAT
CL04	DARK BRONZE METALLIC POWDERCOAT RIBBED METAL CLADDING
GL01	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED CASEMENT SASH WINDOW - BRONZE TINT
GL02	REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED SPANDREL PANEL WITH BACKPAN - BRONZE TINT
GL03	CLEAR TOUGHENED GLAZING
GL04	CLEAR EXISTING GLAZING
GL05	CLEAR LOW E DOUBLE GLAZING
LV01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV02	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV03	METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES TO MATCH 'MT01'
LV04	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED UPSIDE DOWN PLANT SCREEN LOUVRES
MT01	METALLIC 2-PAC PAINT FINISH TO METAL FRAMES & PANELS
MT02	METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03	METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES



<p>Project Title LINCOLN SQUARE 23-31 LINCOLN SQUARE, CARLTON</p>		<p>Melbourne Level 1 280 Flinders Lane Melbourne VIC 3000 T +61 3 9669 3644</p> <p>Sydney Ground Floor 11-17 Burroughes Street Burrumbein NSW 2120 T +61 2 9660 9329</p> <p>Brisbane Level 8 291 Queen Street Brisbane QLD 4002 T +61 7 3211 9621</p> <p>Canberra Level 1 33 Alinga Street Canberra ACT 2601 T +61 2 9660 9329</p> <p>ABN 84008394261 NSW Registered Architects Tom Jordan 7121 Richard Leonard 7122 David Toroff 8028, Franck Young 7014</p>	<p>Drawn By Checked By Date Printed Scale</p> <p>Author Checker 31/03/2025 4:31:33 PM 1 : 50@ A1</p>	<table border="1"> <thead> <tr> <th>Rev</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>31/03/2025</td> <td>TOWN PLANNING RFI</td> </tr> </tbody> </table>	Rev	Date	Description	1	31/03/2025	TOWN PLANNING RFI	<p>Drawing Title PROPOSED EAST DETAIL ELEVATION</p>	<p>Status CONSTRUCTION ISSUE</p>	<p>Project No 2761</p>	<p>Drawing No TP06.06</p>	<p>Revision 1</p>
Rev	Date	Description													
1	31/03/2025	TOWN PLANNING RFI													

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project, but only for the particular stages of services for which Hayball performs the required architectural services.
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CITY OF MELBOURNE PLANNING 1/5/2025



EXTERNAL FINISHES LEGEND

CODE	DESCRIPTION
AL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02	DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
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CL04	DARK BRONZE METALLIC POWDERCOAT RIBBED METAL CLADDING
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GL05	CLEAR LOW E DOUBLE GLAZING
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MT02	METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03	METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES

NORTH DETAIL ELEVATION TOWER



Rev	Description	Date
1	TOWN PLANNING RFI	31/03/2025



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Level 5 11-17 Buckingham Street Level 1 33 Albers Street
 Melbourne VIC 3000 Surry Hills NSW 2010 Brisbane QLD 4000 Canberra ACT 2601
 T +61 3 9699 3644 T +61 2 9660 9328 T +61 7 3211 9821 T +61 2 9660 9329

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED NORTH DETAIL ELEVATION

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:40 PM	1:50 @A1

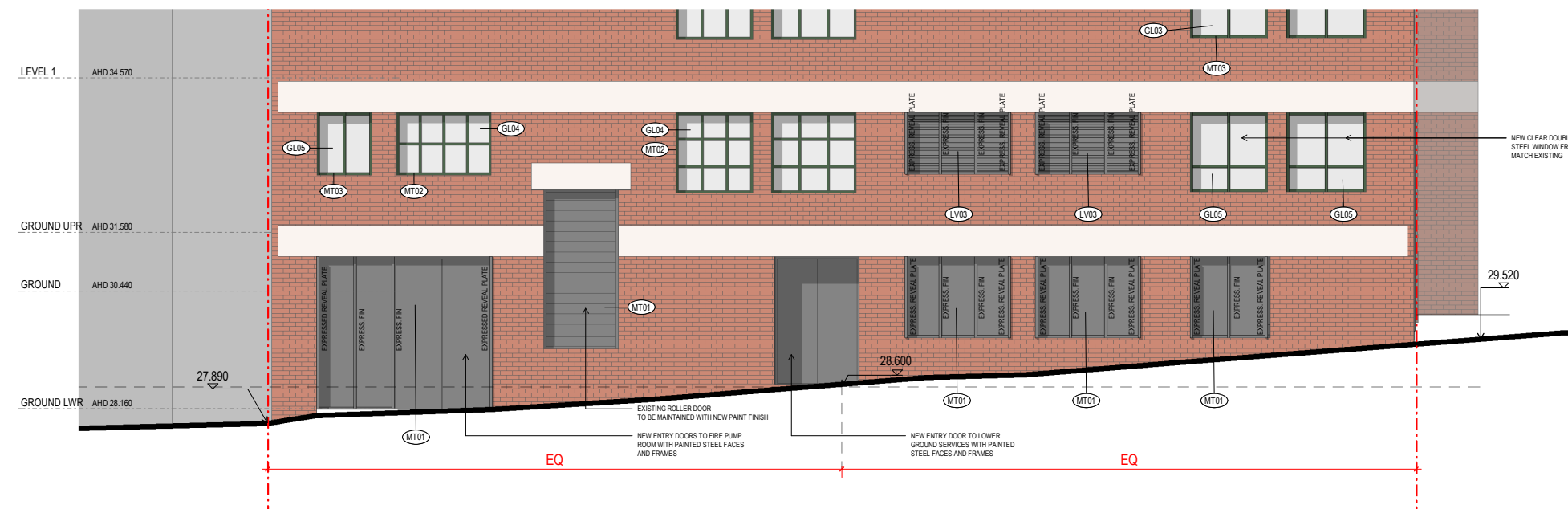
Project No	Drawing No	Revision
2761	TP06.07	1

Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall be in accordance with the specifications. Other dimensions and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of the shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



EXTERNAL FINISHES LEGEND	
CODE	DESCRIPTION
AL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02	DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
CL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM CLADDING
CL02	ALABASTER CERAMIC TILE CLADDING - RANGE OF SURFACE FINISHES IN PIXELLATED FORMAT
CL04	DARK BRONZE METALLIC POWDERCOAT RIBBED METAL CLADDING
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MT01	METALLIC 2-PAC PAINT FINISH TO METAL FRAMES & PANELS
MT02	METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03	METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES



Rev	Description	Date
1	TOWN PLANNING RFI	31/03/2025



Melbourne Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644
 Sydney Ground Floor Level 5 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Brisbane Level 1 33 Adams Street Brisbane QLD 4000 T +61 7 3211 9821
 Canberra Level 1 33 Adams Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
PROPOSED SOUTH DETAIL ELEVATION

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:46 PM	1:50 @A1

Project No	Drawing No	Revision
2761	TP06.08	1

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all elevations and shall also conform to the specifications. All drawings and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence work until the written approval of the Architect/Consultant has been received. The Architect/Consultant grants the client a license to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only. © Copyright 2008 All rights reserved.

CITY OF MELBOURNE PLANNING 1/5/2025



2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644
 Level 5 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9550 9328
 Level 1 33 Alana Street Brisbane QLD 4000 T +61 7 3211 9821
 Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9560 9329

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
SECTION

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:48 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP07.01	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all plans and shall conform to the specifications. All drawings and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of Request for Shop Drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a license to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025



Rev	Description	Date
2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644
 Level 5 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Level 1 33 Albers Street Brisbane Qld 4000 T +61 7 3211 9821
 Level 1 33 Albers Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
SECTION

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:51 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP07.02	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over actual work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of Requested Shop Change signed by the Architect/Consultant. Hayball retains copyright and grants the client a license to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only. © Copyright 2008 All rights reserved.

CITY OF MELBOURNE PLANNING 1/5/2025



2	TOWN PLANNING RFI	31/03/2025
1	TOWN PLANNING SUBMISSION	04/11/2024
Rev	Description	Date



Melbourne Sydney Brisbane Canberra
 Level 1 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644
 Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Level 5 33 Albers Street Brisbane QLD 4000 T +61 7 3211 9821
 Level 1 33 Albers Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
SECTION

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:53 PM	1:100 @A1

Project No	Drawing No	Revision
2761	TP07.03	2

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all elevations and shall also conform to the specifications. All drawings and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of the signed shop drawings. The Architect/Consultant/Manufacturer retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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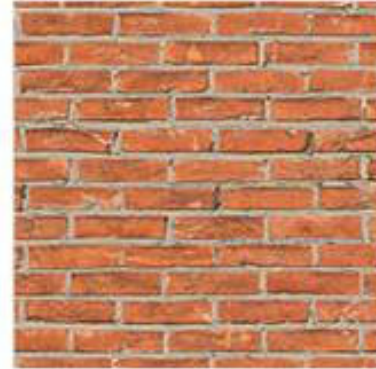
CITY OF MELBOURNE PLANNING 1/5/2025



AL01 DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02 DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
CL01 DARK BRONZE METALLIC POWDERCOAT ALUMINIUM CLADDING



CL02 ALABASTER CERAMIC TILE CLADDING - RANGE OF SURFACE FINISHES IN PIXELLATED FORMAT



EXISTING RED BRICK



CL04 DARK BRONZE METALLIC POWDERCOAT RIBBED METAL CLADDING



MT02 METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03 METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES



MT01 METALLIC 2-PAC PAINT FINISH TO METAL FRAMES & PANELS



GL01 REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED CASEMENT SASH WINDOW - BRONZE TINT
GL02 REAR FRAMED CAPLESS CLEAR LOW E DOUBLE GLAZED SPANDREL PANEL WITH BACKPAN - BRONZE TINT



GL03 CLEAR TOUGHENED GLAZING
GL04 CLEAR EXISTING GLAZING
GL05 CLEAR LOW E DOUBLE GLAZING



EXISTING GLASS BRICK

EXTERNAL FINISHES LEGEND	
CODE	DESCRIPTION
AL01	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM WINDOW FRAMES
AL02	DARK BRONZE METALLIC POWDERCOAT METAL SHROUD
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LV02	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES
LV03	METALLIC POWDERCOAT ALUMINIUM REAR FRAMED WEATHERPROOF LOUVRES TO MATCH MT01
LV04	DARK BRONZE METALLIC POWDERCOAT ALUMINIUM REAR FRAMED UPSIDE DOWN PLANT SCREEN LOUVRES
MT01	METALLIC 2-PAC PAINT FINISH TO METAL FRAMES & PANELS
MT02	METALLIC 2-PAC PAINT FINISH TO EXISTING STEEL WINDOW FRAMES
MT03	METALLIC 2-PAC PAINT FINISH TO NEW STEEL WINDOW FRAMES

1	TOWN PLANNING RFI	31/03/2025
Rev	Description	Date



Melbourne	Sydney	Brisbane	Canberra
Level 1 250 Filders Lane Melbourne VIC 3000 T +61 3 9699 3644	Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328	Level 5 293 Queen Street Brisbane QLD 4000 T +61 7 3211 9821	Level 1 33 Alana Street Canberra ACT 2601 T +61 2 9660 9328

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
MATERIAL SCHEDULE

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:54 PM	@A1

Project No	Drawing No	Revision
2761	TP08.00	1

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all sheets and shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence work until the shop drawings are signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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CITY OF MELBOURNE PLANNING 1/5/2025

23-31 LINCOLN SQUARE CARLTON

STUDENT ACCOMMODATION
DEVELOPMENT AREA SUMMARY



LEVEL	Studio 17-24 m ²	Twin Studio 28-30 m ²	DDA Studio 27-30 m ²	Clusters (Single Bedrooms)			Bed Total	Internal Communal (m ²)	Outdoor (m ²)	NSA	NLA Retail	GFA
				2B1B 29-34 m ²	2B2B 48-66m ²	3B3B 65-80m ²						
LOWER GROUND												157
GROUND								163	43		119	851
LEVEL 1	11		1	4	6		22	28		557		749
LEVEL 2	11		1	4	6		22	28		557		749
LEVEL 3	11		1	4	6		22	28		557		749
LEVEL 4	11		1	4	6		22	28		557		749
LEVEL 5	5			2			7	331	227	115		528
LEVEL 6	11			2	6		19			378		501
LEVEL 7	20	2					22			455		593
LEVEL 8	20	2					22			455		593
LEVEL 9	20	2					22			455		593
LEVEL 10	20	2					22			455		593
LEVEL 11	20	2					22			455		593
LEVEL 12	20	2					22			455		593
LEVEL 13	20	2					22			455		593
TOTAL	200	14	4	4	22	24	268	606	270	5906	119	9184

RATIO	75%	5%	1%	1%	8%	9%
TOTAL RATIO	81%			19%		

TOTAL BIKE PARKING 72

The information presented herein is preliminary. It will require further advice from a professional planning consultant and other consultants and is subject to approval from the relevant Statutory Authorities. Accurate survey information will be required from a licensed land surveyor. Any information shown to date shall be subject to confirmation by a licensed land surveyor. Floor areas shown have generally been measured using the guidelines – 'Method of Measurement for Residential Property' – published by the Property Council of Australia. All areas and measurements shown are rounded to the nearest whole number. All areas shown have generally been measured from drawings produced at the yield study stage and are approximate and for illustrative purposes only. Further development of this design will require information produced by a number of specialist consultants. This information, together with other considerations, such as the requirements of relevant statutory authorities, construction tolerances and the like, and/or changes requested by the client, may result in significant changes to the information presented. Hayball accepts no legal responsibilities for any decision, commercial or otherwise, made on the basis of the information presented.

	m ² /Bed	m ²
City Of Melbourne Clause 16.01-1L Internal Communal Space Guidance	1.25	335
Proposed Internal Communal Space	2.26	606

COMMUNAL AREA MEASUREMENT NOTES

GROUND LEVEL INTERNAL COMMUNAL TOTAL 163m²
 - GROUND LEVEL INTERNAL COMMUNAL 149.8m²
 incl. LOUNGE, CASUAL SEATING, SEATING STEPS, LAUNDRY.
 - GROUND LEVEL INTERNAL COMMUNAL 7.4m²
 incl. BENCH SEATING TO NORTH ELEVATION
 - GROUND LEVEL INTERNAL COMMUNAL 5.4m²
 incl. BENCH SEATING BIKE STORE WALL
GROUND LEVEL EXTERNAL COMMUNAL TOTAL 43m²

LEVELS 1-4 INTERNAL COMMUNAL TOTAL PER LEVEL 28m²
 - INTERNAL COMMUNAL 13.0m²
 incl. LOUNGE
 - INTERNAL COMMUNAL 15.3m²
 incl. CASUAL SEATING

LEVEL 5 INTERNAL COMMUNAL TOTAL 331m²
 - INTERNAL COMMUNAL 331m²
 incl. DINING/LOUNGE, KITCHEN, SMALL MEETING ROOM, FITNESS ROOM, CINEMA/VIDEO GAME ROOM, LOUNGES.
 - INTERNAL COMMUNAL 39.7m²
 incl. OUTDOOR GAMES (COVERED)
LEVEL 5 EXTERNAL COMMUNAL TOTAL 227m²
 - EXTERNAL COMMUNAL (NORTH) 177.1m²
 - EXTERNAL COMMUNAL (SOUTH) 49.9m²

Rev	Description	Date
1	TOWN PLANNING RFI	31/03/2025



Melbourne Sydney Brisbane Canberra
 Level 1, 250 Flinders Lane Melbourne VIC 3000 T +61 3 9699 3644
 Level 1, 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9328
 Level 1, 250 Queen Street Brisbane QLD 4000 T +61 7 3211 9821
 Level 1, 33 Alana Street Canberra ACT 2601 T +61 2 9660 9329

ABN: 8406394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028, Fiona Young 7014

Project Title
LINCOLN SQUARE

Project Address
23-31 LINCOLN SQUARE, CARLTON

Drawing Title
DEVELOPMENT SUMMARY

Status
TOWN PLANNING

Drawn By	Checked By	Date Printed	Scale
Author	Checker	31/03/2025 4:31:55 PM	@A1

Project No	Drawing No	Revision
2761	TP09.00	1

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be provided on all plans and shall conform to the specifications. All drawings and job dimensions shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the receipt of approved shop drawings signed by the Architect/Consultant. Hayball retains copyright and grants the client a licence to use the Design for the purposes of this project and for the particular stage of services for which the Hayball has been commissioned only.
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PLANNING REPORT

TP-2024-854

23-31 LINCOLN SQUARE SOUTH, CARLTON
PARTIAL DEMOLITION, DEVELOPMENT OF A MULTI-
STOREY BUILDING USED FOR STUDENT
ACCOMMODATION, AND A WAIVER OF THE
BICYCLE FACILITY REQUIREMENTS



Acknowledgement of Traditional Owners

The City of Melbourne respectfully acknowledges the Traditional Owners of the land we govern, the Wurundjeri Woi-wurrung and Bunurong / Boon Wurrung peoples of the Kulin Nation and pays respect to their Elders past and present. We acknowledge and honour the unbroken spiritual, cultural and political connection they have maintained to this unique place for more than 2,000 generations.

We accept the invitation in the Uluru Statement from the Heart and are committed to walking together to build a better future.

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1. Application Details

Application Number	TP-2024-854
Address	23-31 Lincoln Square South, Carlton
Applicant Owner Architect	Fathom Lincoln Pty Ltd Ambertree Vic Mel (Lincoln) Pty Ltd Hayball
Proposal	Partial demolition, use and development of the land for student accommodation in a multi-storey building, and a waiver of the bicycle facility requirements
Cost of Works	\$40.12 million
Planning Controls	Capital City Zone – Schedule 5 Heritage Overlay – HO1122 Design and Development Overlay – Schedule 61 Parking Overlay – Schedule 1
Permit Requirements	Use the land for accommodation, demolish a building and construct a building and carry out works in a Capital City Zone Schedule 5 Demolish a building and to construct and carry out works in a Heritage Overlay Construct a building or carry out works in a Design and Development Overlay, Schedule 61 Waive or reduce bicycle facility requirements under the Bicycle Facilities provision
No. of Objections	Three (3)
Easements/Covenants/Section 173 Agreements	Nil
Reason for FMC Referral	The development proposes substantial demolition and significant redevelopment of a heritage building graded 'Significant'.
Recommendation	Notice of Decision to Grant a Planning Permit
Planning Officer	Leanne Stockley

2. Executive Summary

- The application seeks planning approval for the partial demolition of a significant graded heritage building, and the use and development of the land for student accommodation and retail in a multi-storey building on land at 23-31 Lincoln Square South, Carlton (site). Bicycle facility requirements are sought to be waived.

- By way of background, on 30 April 2019, the Council issued planning permit TP-2018-449 for a similar development form to contain residential units. The permit included a condition requiring the maximum height (excluding roof plant) to be reduced to RL 71.140 which results in a building height of 12 storeys and 41.36 metres. The permit holder did not act on the permit and it has now expired.
- The proposed building height is 14 storeys and 46.94 metres (RL 76.74).
- The existing building has been used for office accommodation, however has been vacant for the last 10 years (notwithstanding internal renovation in 2020).
- The site is within the Capital City Zone, Schedule 5 (**CCZ5**) and is affected by the Heritage Overlay (HO122, Lincoln Square South Precinct) (**HO122**), the Design and Development Overlay, Schedule 61, City North Area 4.1 (**DDO61**), and the Parking Overlay, Schedule 1, Outside the Retail Core (**PO1**).
- Public notice of the application was undertaken, and a total of three (3) objections were received. Key concerns raised include demolition extent and addition to building will overwhelm and impact the significance of the heritage building, the change of heritage grading, off-site amenity impacts (including overshadowing and overlooking to adjacent accommodation building), traffic impacts to rear and side lanes and the protection of equitable development rights.
- The key considerations of the assessment relate to the preferred built form objectives of the CCZ5 and DDO61, appropriateness of the heritage response and whether the use of the land for student accommodation is appropriate.
- The assessment outlines that the proposal is an acceptable planning outcome when assessed against the relevant provisions of the Scheme and will provide for adaptive re-use and conservation of the heritage building.
- Subject to recommended permit conditions, the proposed development responds to the relevant provisions of the Scheme and is supported.

3. Site and Surrounds

The site is approximately 909 m², rectilinear piece of land (formally described as Lot 1 on Title Plan 619539) located on the southwest corner of Lincoln Square South and Cumberland Place, Carlton.

The site has a frontage of 22.9 metres to Lincoln Square South and depth of 40.5 metres. The east and south boundaries abut Cumberland Place, and the southern half of the western boundary abuts a narrow lane known as Corporation Lane 1094. The only abuttal to other land is a section of about 20 m along the northern part of the western boundary to a five-storey office and apartment building at 33 Lincoln Square South.

The site is affected by HO1122 (11-31 Lincoln Square South & 631-645 Swanston Street, Carlton) assessed as a 'Significant' graded heritage building (within an ungraded streetscape) under the *Heritage Places Inventory March 2022 (Amended July 2025)*.

The site is occupied by a five-storey brick former warehouse and factory building built in 1927. It has a parapet all round, with four sawtooth roof forms carried to the east and west elevations. On the northeast and southwest corner, large square face brickwork elements extend above the parapet, reflecting the lift overruns and stairs within the building. Original metal framed windows are largely intact, although at the ground and first floor on the north, east and south façades windows have been replaced with replacement glass (leadlight appearance), glass bricks (or steel vents) within the original openings.

The surrounding context is varied in building form, scale and use. There is a mixture of taller built form along Swanston Street which increases in height towards the Central Business District.

Surrounding recent development includes:

- 1-13 Lincoln Square South: part 11 storey (35.31 metres, excl. roof plant) and part 15 storey (46.60 metres, excl. roof plant).
- 123-131 Bouverie Street: 14 storeys (44.45 metres, excl. roof plant).
- 599-605 Swanston Street: 21 storeys (57.03 metres, excl. roof plant).
- 558-566 Swanston Street: 13 storeys (43 metres, excl. roof plant).
- 18-20 Lincoln Square North, Carlton: 15 storeys (47.6 metres, excl. roof plant).

The location of recent development, relative to the site, is depicted in the notated aerial image.



Figure 1 – aerial photograph (source: Nearmap, dated 12 December 2024) with annotations added



Figures 2 and 3 – the subject land as viewed from Lincoln Square (Source: Council photography dated 15 January 2025)



Figures 4 and 5 – the east (left) and south (right) elevation of the subject land as viewed from Cumberland Place (Source: Council photography dated 15 January 2025)

3.1. Aboriginal Cultural Heritage

This site is on the traditional lands of Wurundjeri Woi-wurrung land. The site is not located in an area of legislated Cultural Heritage Sensitivity.

4. Background

4.1. Pre-application discussions

On 8 October 2024, a pre-application meeting was held between the applicant and Council planning officers. The proposed building was depicted at RL 79.090 (excluding roof plant). Below is a summary of the advice given:

- Building height should be reduced.
- Proposed extent of retention of the heritage building appears consistent with the previous approval. The application will be referred to the heritage advisor on lodgement.
- Communal areas should be spread across the building.

4.2. Site history

Application Number	Application Details
TP-2015-440	Proposed partial demolition and a part 13 storey (39.2 metres) and part 16 storey (48.2 metres) residential building. The proposed demolition included the removal of the saw tooth forms and lift core / stair of the heritage building (only the northern and eastern elevation walls were retained). On 15 December 2015, the Victorian Civil and Administrative Tribunal (VCAT) affirmed the Council’s deemed refusal of the planning permit application ¹ .

¹ Ambertree Vic Mel (Lincoln) Pty Ltd v Melbourne CC [2015] VCAT 1961

⁷ melbourne.vic.gov.au



Figure 6 – extract of the Visual Amenity Statement of Evidence: Accompanying Photomontages, prepared by Scharp dated October 2015

TP-2018-449

Proposed partial demolition (greater level of retained compared to TP-2015-440 including the saw tooth and lift core / stair) of the heritage building and the construction of a 14 storey (46.56 metres) residential building with ground floor commercial use.

On 30 April 2019, the Council issued planning permit TP-2018-449 for the development. The permit included a condition requiring the maximum height (excluding roof plant) to be reduced to RL 71.140 which results in a building height of 12 storeys and 41.36 metres.

The permit has expired.

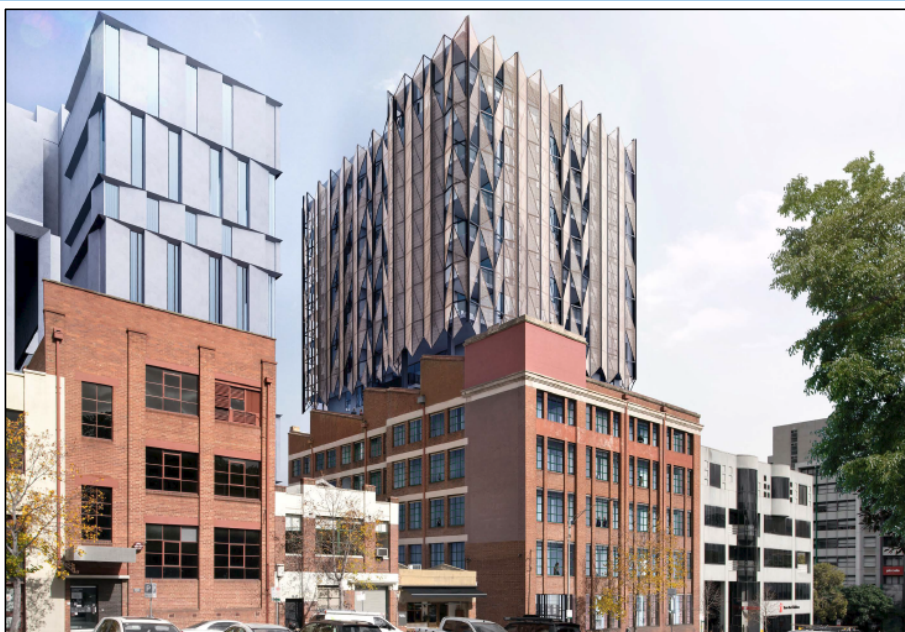


Figure 7 – render of the advertised proposal (does not include two storeys removed as required by condition of the planning permit) under TP-2018-449 (Source: Breathe Architecture dated 30 May 2018, revision no. 3)

4.3. Amendments to the application

A Section 50 amendment was lodged on 1 May 2025. The amendment seeks the following changes to the proposal:

- Correct descriptions in the plan set.
- Correct descriptions in the application Planning Report.

5. Proposal

5.1 Proposal Summary

The assessment is based on plans received on 1 May 2025 as part of the Section 50 amendment described above.

The application seeks planning permission for the use and development of a fourteen storey building for student accommodation and retail. The proposal includes:

- Partial demolition, including:
 - Removal of the corrugated sawtooth roof (parapet walls to the east and west elevations and the lift core retained).
 - Internal demolition of some floor slabs.
 - Removal of glazing from the original steel framed windows, save for the bottom panels (which act as a balustrade to the proposed balconies). The window frames remain.
 - Removal of glass bricks and louvred vents.
 - Removal of bricks to the east elevation to allow the proposed waste and loading arrangement.
 - Removal of the canopy to Lincoln Square South.
 - Removal of paint.
- Construction of a building, including:
 - Construction of a fourteen storey building comprising of five storeys within the retained heritage building and nine storeys above in a contemporary form.
 - The ground floor includes a 119.4 m² retail premises (tenant separate to the student accommodation provider), and communal spaces, administration, bicycle facilities, light court, laundry, services, and waste and loading for the student accommodation use.
 - Ground floor to level 4 (the retained heritage building) is utilised for student accommodation rooms and indoor communal spaces, including balconies interfacing with the retained heritage building’s window openings.
 - Level 5 (roof of the retained heritage building) is utilised for indoor and outdoor communal space, balconies, and student rooms.
 - Levels 5 to 14 is the proposed tower which includes various front, side and rear setbacks, built around a light well on the western side.
 - The materiality is generally comprised of light-coloured ceramic tiles and dark bronze metal details of window frames and shrouds, and the “belt” element between the retained heritage building and upper addition.

Details of the proposal can be summarised, as follows:

Proposal Summary	
Land use/s	Student accommodation with retail tenancy to ground floor (119 m ²)
Floor area	9,184 m ²

Proposal Summary	
Maximum height	14 storeys (46.94 metres or 76.74 RL, excl. roof plant)
Street wall height	20.5 metres (existing heritage building)
Setbacks above street wall	<ul style="list-style-type: none"> • North: 6.48 metres • East: 1.03 to 2.98 metres • South: 2.59 metres • West: 0 to 5.36 metres (light court)
No. of Beds	268 in the following mix: <ul style="list-style-type: none"> • Studio (one-bedroom): 200 • Twin studio: 14 • DDA studio: 4 • Two-bedroom cluster: 26 • Three-bedroom cluster: 24
Communal indoor space	606 m ²
Communal outdoor space	270 m ²
Loading and waste management	Private waste collection and loading activities for smaller delivery vans and 6.4 metre Small Rigid Vehicles will occur on-site via Cumberland Place. Delivery vehicles that are longer than 6.4 m in length will utilise on-street parking resources.
Vehicular access / car parking	Nil
Bicycle facilities	72 bicycle parking provided within a secure bicycle parking area at ground level accessed internally and via Cumberland Place.

Renders of the proposal are provided below:



Figure 8 – render of the proposal as seen from Lincoln Square east (adjacent Swanston Street) (Source: Hayball – Urban Context Report, dated March 2025)

5.2 Documents considered in assessment

The documents which have been considered in this assessment are identified below:

Documents Considered in Assessment		
Document	Author	Date
Town Planning Report	Contour Consultants	March 2025
Urban Context Report	Hayball	March 2025
Architectural Plans and Renders		March 2025 (revision 2, May 2025)
Shadow Diagrams		March 2025
Traffic Impact Assessment	Traffix Group	26 March 2025 (revision C)
Waste Management Plan		1 November 2024 26 March 2025 (addendum)
Wind Impact Assessment	Vipac	31 March 2025
Sustainability Management Plan	Stantec	26 March 2025 (revision 3)
Heritage Impact Statement	Bryce Raworth	March 2025 (revised)

6. Planning Policies and Controls

The following provisions of the Scheme are most relevant to the application.

Sections	Policies
Municipal Planning Strategy	<ul style="list-style-type: none"> • Clause 2.02: Vision • Clause 2.03: Strategic Directions <ul style="list-style-type: none"> ○ Clause 2.03-5: Housing – Student Housing • Clause 2.04: Strategic Framework Plans <ul style="list-style-type: none"> ○ Clause 02.04-6: City North Plan
Planning Policy Framework	<ul style="list-style-type: none"> • Clause 11: Settlement <ul style="list-style-type: none"> ○ Clause 11.02: Managing Growth ○ Clause 11.03: Planning for Places • Clause 13: Environmental Risks and Amenity <ul style="list-style-type: none"> ○ Clause 13.03: Floodplains ○ Clause 13.04 Soil Degradation ○ Clause 13.05: Noise ○ Clause 13.06: Air Quality ○ Clause 13.07: Amenity, Human Health and Safety <ul style="list-style-type: none"> ○ Clause 13.07-1S – Land Use Compatibility ○ Clause 13.07-1L-03 – Land Use Compatibility • Clause 15: Built Environment and Heritage <ul style="list-style-type: none"> ○ Clause 15.01: Built Environment <ul style="list-style-type: none"> ○ Clause 15.01-1S – Urban Design ○ Clause 15.01-1R – Urban Design – Metropolitan Melbourne ○ Clause 15.01-1L-03: Sunlight to Public Spaces ○ Clause 15.01-1L-04 – Urban Design ○ Clause 15.01-2S – Building Design ○ Clause 15.01-2L-01: Energy and resource efficiency ○ Clause 15.01-5S – Neighbourhood Character ○ Clause 15.02 Sustainable Development • Clause 16: Housing <ul style="list-style-type: none"> ○ Clause 16.01: Residential Development <ul style="list-style-type: none"> ○ Clause 16.01-1L: Student Housing • Clause 17: Economic Development <ul style="list-style-type: none"> ○ Clause 17.01: Employment ○ Clause 17.02: Commercial • Clause 18: Transport <ul style="list-style-type: none"> ○ Clause 18.01: Land Use and Transport ○ Clause 18.02: Movement Networks • Clause 19: Infrastructure <ul style="list-style-type: none"> ○ Clause 19.02: Community Infrastructure ○ Clause 19.03: Development Infrastructure <ul style="list-style-type: none"> ○ Clause 19.03-3L: Stormwater management (Water sensitive urban design)
Capital City Zone Schedule 5: City North	<p>Use – Permit Required Pursuant to clause 37.04-1 a permit is required for accommodation as the frontage of the subject land is along the street frontages as shown at Map 1 of the Design and Development Overlay, Schedule 61, and the proposed frontage to the use is over 4 metres.</p> <p>The use of land for retail premises does not require a planning permit.</p> <p>Buildings and Works – Permit Required Pursuant to Clause 37.04-4, a permit is required to:</p> <ul style="list-style-type: none"> • Demolish a building. • Construct a building and carry out works.

Sections	Policies
Heritage Overlay Schedule 1122 (11-31 Lincoln Square South & 631-645 Swanston Street, Carlton)	Buildings and Works – Permit Required Pursuant to Clause 43.01-1 a permit is required to: <ul style="list-style-type: none"> • Demolish (including partial demolition) or remove a building. • Construct a building or construct or carry out works. • External alterations.
Design and Development Overlay Schedule 61 City North (Area 4.1)	Buildings and Works – Permit Required Pursuant to Schedule 61 of Clause 43.02 a permit is required to construct a building or carry out works.
Parking Overlay Schedule 1 Capital City Zone outside the Retail Core	Permit not required The PO1 establishes maximum car parking rates. As the proposal does not provide for any car parking, no permit is required.
Bicycle Facilities	Permit required Clause 52.34-2 states that a permit may be granted to vary, reduce or waive any requirement of Clause 52.34-5 and Clause 52.34-6. The proposal does not meet the requirements of clause 52.34-5, for provision of a changing room, and as such permission is required to vary the requirement.
General Provision(s)	Clause 65, which includes the matters set out in section 60 of <i>the Planning and Environment Act 1987</i> .

6.1. Relevant Planning Scheme Amendments

6.1.1 Amendment C376melb – Sustainable Building Design

Planning Scheme Amendment C376 aims to introduce new best-practice ESD Standards into the Scheme to, among other things, ensure that buildings in the municipality respond to climate change impacts and align with Council's target of net zero emissions by 2040. Amendment C376 also implements the Green Factor tool, which is an online green infrastructure assessment tool designed by the Council developed to help with optimising the design of green infrastructure and external landscapes on buildings.

Amendment C376 was adopted by Council at its meeting of 29 July 2025 for submission to the Minister for Planning for approval.

Amendment C376 has been addressed in the environmentally sustainable design statements, as discussed further in this report.

7. Public Notice and Objections

7.1. Public notice

Public notice of the proposal is required under the Heritage Overlay.

The CCZ5 and the DDO61 exempt all aspects of the Application from notice and review.

Public notice was given under the Heritage Overlay by the Council, on behalf of the applicant, by sending letters to owners and occupiers of adjoining and surrounding properties and by instructing the applicant to erect public notices on the subject land.

7.2. Objections

A total of three (3) objections have been received as of the date of this report. The concerns in objections have been summarised below. Consideration of the objections is given in section 9 (assessment) of this report.

Topic	Concerns
Heritage	<ul style="list-style-type: none"> Proposed extent of demolition (including roof and interior) will impact the significance and integrity of the heritage place. Previous applications for development of this site including TP-2018-449 and TP-2020- 571 were under the old Heritage controls where the site had 'C' grading. Under C grading partial demolition and additions were permitted. In March 2022 the new Heritage controls were introduced. The new listing for the site is for a 'Significant' Place. Clause 15.03-1L-02 strategy includes "Partial demolition in the case of Significant buildings [...] will not generally be permitted". There do not seem to be any exceptional circumstances that would allow partial demolition. Proposed addition is inconsistent with the conservation of a heritage place and that the additional floors above will overpower and dominate the appearance of the heritage building.
Amenity	<ul style="list-style-type: none"> Amenity impacts (overshadowing and overlooking) to adjacent building to the south.
Traffic/Car Parking/Loading/Bicycle facilities	<ul style="list-style-type: none"> Car parking and loading provisions are inadequate and will result in blocking of laneways. Bicycle facilities are inadequate and will result in bicycles cluttering the pavements close to the site.
Equitable development	<ul style="list-style-type: none"> Protection of equitable development rights sought for adjacent building to the south, with concern the proposed southern setback is inadequate. Use and protection of access for the proposed lightwell.

8. Referrals

8.1. External referrals

Comment

Head, Transport for Victoria

Pursuant to Clause 66.02-11 (Land use and transport integration), an application for a residential building containing 60 or more lodging rooms must be referred to the Head, Transport for Victoria in accordance with Section 55 of the *Planning and Environment Act 1987*.

The Department of Transport and Planning, under delegation from the Head, Transport for Victoria, advised that it does not object to the grant of a planning permit and does not require any conditions on any planning permit granted.

8.2. Internal referrals

The table below summarises the internal advice received from the relevant Council internal departments, and officer response to them.

Comment

Heritage

The heritage advisor made the following comments on the proposal:

Large in footprint, five storeys tall and incorporating fireproof construction, the ambitious 1927 structure has remained a landmark in the streets surrounding Lincoln Square. It is amongst the best examples of early twentieth century development north of the city centre.

The location of the former Austral Piano Building on the south side of Lincoln Square and close to the top of the Carlton Hill has ensured that its prominence in 1927 has remained to the present day.

The existing streetscape form and the built form backdrop allows the five storey Austral Piano building to retain its prominence, with a sky silhouette when viewed from some northern locations.

Assessment and recommendations:

The tower as proposed would dominate the Significant building and proposed works to the Significant building would reduce its heritage significance.

Proposed addition height

- The tower would be more than twice the height of the existing Significant building.
- Tower setbacks are modest.
- The tower would overwhelm the Significant building.
- As proposed, the height at RL 76.74 would lead to a tower height which is greater than the main parapet height of the existing building.
- The setback proposed is insufficient to moderate the impact of this proposed height on the prominence of the Significant building.

Recommendation - Reduce the maximum tower height to RL71.14 (as conditioned in the approval TP-2018-449)

Proposed setback to sawtooth roof parapet

- lack of depth to tower façade along the east elevation behind the saw-tooth walls.

Recommendation – On the east elevation provide a backdrop from the tower to the sawtooth walls, which will retain the prominence of the saw-tooth forms.

Proposed window alterations

- A key feature of the 1927 design is the modern steel-framed windows.
- Alterations proposed to the steel window would remove the majority of the glazing.
- Removal of glass and replacement with an open hole would present as a dark space with no reflections.
- Removal of the glass would change the appearance of the building. It would no longer be presented as the original design intended as an enclosed structure.

Recommendation – the elevation should remain glazed with the capacity to fully close the north elevation windows with hopper window operation retained. Provide detailed conservation and ongoing management of the windows.

Introduction of balustrades behind roof parapet

- Balustrades are proposed to attach to the top of the main façade and between the saw-tooth forms along the west façade.
- These balustrades distract from the original design and juxtapose the character of the new work as a clashing element with the original construction.
- Introducing balustrades in alignment with the façade of the Significant building brings the new works into closer focus with the original construction.

Recommendation – Delete or substantially set back the balustrade/s proposed to the parapet at the north and east elevations.

Painted signage

- Early painted signs on the external brickwork contribute to significance.
- The scheme provides no proposed technique for successfully revealing and conserving the painted signs.

Recommendation – Provide detailed information for the conservation of the signs.

Building entry

- The proposal includes a new modern form main entry to Lincoln Square South.
- Photos and drawings available for the original 1927 entry show secondary brick piers to the entry.

Recommendation – Reinstatement of the brick piers would enhance the Significant building.

Roof plant screening

- The close proximity of the roof services screen to the front of the tower will exacerbate the perceived tower height when viewed in the surrounding streets and the park.

Recommendation - Set back the services screen a substantial distance from the north and east elevations.

Officer comments:

Each recommendation is addressed as listed above:

- *Reduce the maximum tower height to RL71.14 (as conditioned in the approval TP-2018-449)*

The Heritage recommendation to reduce the height in line with the previous approval is discussed in section 9 of the report.

- *On the east elevation provide a backdrop from the tower to the sawtooth walls, which will retain the prominence of the saw-tooth forms.*

The recommendation to provide depth to tower façade along the east elevation behind the saw-tooth walls is discussed in section 9.2.3 of this report.

- *The elevation should remain glazed with the capacity to fully close the north elevation windows with hopper window operation retained. Provide details of conservation and ongoing management of the windows.*

The recommendation to conserve glazing and hopper window operation is discussed in section 9.2.2 below.

- *Delete or substantially set back the balustrade/s proposed to the parapet at the north and east elevations.*

The recommendation to delete or set back the balustrade/s is discussed in section 9.2.5 below.

- *Provide detailed information for the conservation of the signs.*

Provision of a detailed conservation works plan can be requested as a permit condition (should one be issued). The plan should include detailed information of paint removal techniques and should be subject to the review of Council's Heritage Adviser to ensure acceptable techniques are used to remove layers and expose the important signage elements.

- *Reinstatement of the brick piers would enhance the Significant building.*

The recommendation to reinstate brick piers at the entrance is discussed in section 9.2.2 below.

- *Set back the services screen a substantial distance from the north and east elevations.*
-

The recommendation to set back the rooftop services screening is discussed in section 9.2.5 below.

City Design

The City Design unit makes the following comments and recommendations:

- **Adaptive Reuse:** *The proposed adaptive re-use of the former Allen & Co Piano Factory and Warehouse is positive.*
- **Heritage:** *Defer to heritage advice for detailed commentary. Notably, the retention of the building form extends beyond just the façade.*
- **Built Form & Amenity:** *The existing generous floor-to-floor heights and warehouse floors will be retained. This thoughtful approach enhances residential amenity and reduces construction waste, though it does modestly limit development potential.*
- **Materiality & Design Quality:** *The proposed materials for both the new and existing buildings are of high quality and are central to the development's overall acceptability. Ceramic tile cladding is particularly important to our support.*
- **Design Integrity:** *Any changes to materials during the permit or construction stages should be resisted to maintain design quality.*
- **Façade Detail:** *The ceramic tiles are proposed in a pixelated format. Any intended pattern or image should be clarified through permit conditions or a façade strategy.*

Officer comments:

The acceptability of the overall development height is noted, with further discussion in section 9.3 below.

Transport Engineering

The Transport Engineering department makes the following recommendations:

- **Loading Arrangements:** *The proposed setup requires vehicles to reverse into the site from Cumberland Place, raising pedestrian safety concerns. A Loading Dock Manager or Building Manager should be appointed to manage this risk.*
- **Parking Restrictions:** *A note should be included on the planning permit stating that the City of Melbourne will not alter on-street parking restrictions to accommodate this development.*
- **Permit Eligibility:** *Residents, students, and visitors of the development will not be eligible for resident parking permits and will not be exempt from existing on-street parking restrictions due to increased residential density.*

Officer comments:

A condition requiring submission and approval of a Loading Management Plan is recommended to form part of any permit to issue.

Further, a note will be included regarding occupants not being eligible for parking permits.

City Infrastructure

The City Infrastructure department makes the following comments / recommendations:

- *Objection to the two outward opening doors projecting into Lincoln Square South and the rear lane way known to the City of Melbourne as Cumberland Place. The doors shall be redesigned*
-

such that they do not project beyond the street alignment when open, when closed or when being opened or closed.

- *All projections over the street alignment must conform to Building Regulations 2018, Part 6, Sections 98 to 110 as appropriate. Reference can be made to the City of Melbourne's Road Encroachment Operational Guidelines with respect to projections impacting on street trees and clearances from face / back of kerb.*
 - *Impacts to wall-mounted streetlights attached to the existing building in Cumberland Place.*
 - *The design shall allow installation of power conduits and streetlights on the external walls of the building. The power conduits for the wall mounted lights shall be designed perpendicular to the surface pavement. The building should provide a minimum vertical clearance of 6.0 metres above and 2.0 metres below the surface pavement to allow installation of electrical conduits and wall-mounted lights.*
 - *The proposed development will necessitate the installation of a sewerage connection from the building to the sewer main located within the road reserve.*
-

Officer comments:

The matters of projections into the street can be resolved / controlled via permit conditions should one issue.

Regarding streetlights, the City Infrastructure department has a corresponding recommended condition requiring the applicant to provide for a public lighting plan and will be included should any permit issue.

A note will be included on any permit issued in relation to the sewer trap matter.

Waste and Recycling

The Waste and Recycling department reviewed the WMP prepared by Traffix Group dated 26 March 2025 and advised that a minor revision is required to tenancy waste store 'A' door design to be considered acceptable.

Officer comments:

The minor revision can form part of a condition to be met prior to endorsement of plans. The detail must show a door design allowing all bins to be accessible to users. When approved, the WMP will be given force and effect through recommended conditions.

Environmentally Sustainable Design

The development commits to a level of sustainability that meets the objectives of Clause 15.01-2L-01 Energy and resource efficiency and Clause 19.03-3L Stormwater management (water sensitive urban design) of the Melbourne Planning Scheme.

Additional information is requested to verify the sustainability commitments.

Officer comments:

The applicant has submitted that they cannot commit to achieving high levels of daylight amenity sought under the Green Star Buildings Pathway for the following reasons:

- *The project involves the adaptive reuse of a heritage building, which places inherent limitations in terms of window placement and façade openings.*
 - *The site is in a dense inner-city context where interface conditions and outlook are constrained.*
 - *As part of the broader ESD strategy and architectural response, the window-to-wall ratio has been intentionally reduced. This design decision is aimed at minimising unwanted heat gain /*
-

loss, significantly improving energy performance and reducing reliance on mechanical heating and cooling. This contributes positively to both operational energy use and resident comfort.

While our client remains committed to achieving the minimum daylight standards required by Green Star, and will continue to target this credit, it is not appropriate to require formal daylight modelling or performance commitments at this stage as a permit condition.

We therefore request that the proposed ESD condition be amended to delete the requirement of item 'c'.

Item 'c' requires:

Provide daylight modelling to demonstrate the development can achieve high levels of daylight to at least 40% of the regularly occupied areas for non-residential spaces and 60% of combined living and bedroom areas.

The matter can be further considered as part of post permit revisions. To allow consideration of an alternative response to this requirement, the condition will include "Unless otherwise agreed in writing by the Responsible Authority..."

A recommended condition has been provided which seeks to capture the additional outstanding detail (other than abovementioned) via a revised Sustainability Management Plan (SMP), to be submitted and approved prior to commencement of the development. The recommendation and additional conditions for compliance with the approved SMP can be included in any permit to issue.

9. Assessment

The key issues for consideration in the assessment of the application, having regard to the relevant planning controls affecting the site, include:

- Appropriateness of the land use
- Heritage considerations
- Built form and public realm impacts
- Traffic, Bicycle requirements, Loading and Waste
- Environmentally Sustainable Design
- Objector concerns.

9.1. Land use

1.1.1 Student accommodation

A planning permit is required for the use of the land for student accommodation as the site has a frontage exceeding four metres to a designated street frontage under Map 1 of the DDO61.

The proposed use of the land is consistent with the purposes of the CCZ5, which seek:

- *To develop City North as a mixed use extension of the Central City.*
- *To provide for a range of educational, research and medical uses as part of an internationally renowned knowledge district.*
- *To encourage a range of uses that complement the capital city function of the locality and serves the needs of residents, workers, students and visitors.*

The use of the land is compatible with the vision for the City North precinct, noting that subject land's proximity to tertiary institutions and the established student accommodation character. The use of land as a student accommodation building is supporting the education and research use as sought by the purpose of the CCZ5. The proposal includes an appropriate level of activity through a retail tenancy and communal student areas at the ground level which contributes to the mixed use objectives for the area.

Clause 16.01-1L (Student housing) of the Planning Scheme provides policy guidance for the use and development of land for student accommodation, with the objective of providing affordable, safe, healthy, well designed and managed student housing in locations with good access to public transport, services and tertiary education facilities. An assessment of the proposal against the relevant strategies and policy guidelines of this clause is provided below.

Policy Strategies	Assessment
Student rooms layout	
<ul style="list-style-type: none"> • Ensure all rooms are of a size, layout and design that are liveable and functional. • Ensure every room has direct access to daylight, fresh air and an external window. • Discourage rooms being unreasonably overlooked by another room. • Design rooms to limit excessive noise and disruption from pedestrian or vehicle traffic. • Provide secure long-term storage. <p>Policy guidance:</p> <p>Supporting rooms of a size, layout and design that can comfortably accommodate:</p> <ul style="list-style-type: none"> • Access to a bed from its side. • A study area with a desk and bookshelf. • A robe / drawer units with ample storage space for clothing and personal items. • Computer and TV. • A table or bench to provide a space to eat, separate from that used for study purposes. <p>Providing private kitchen facilities with adequate room for a microwave, stove top cooker, fridge, clear bench space, sink, storage space for food, crockery, utensils, cleaning equipment and a designated location for garbage and recycling.</p>	<p>The proposal includes a variety of room types in sizes ranging from 17.7 to 32 square metres for studio rooms, and up to 85 square metres for three bedroom clusters.</p> <p>The student room typologies and layouts are considered to be liveable, functional and would comfortably accommodate the needs of students.</p> <p>Each student room is provided with access to a bed from its side, a study area with a desk and a bookshelf, robe / drawer units with storage space for personal items, desk space for a computer and TV and a separate table or bench for meals.</p> <p>Private kitchen facilities within each room are accompanied by adequate space for a microwave, stove top cooker, fridge, clear bench space and sink, in addition to storage for food and utensils.</p> <p>Each student room will have direct access to daylight and ventilation via an external wall open to the sky.</p> <p>No rooms will be unreasonably overlooked by another room within the development.</p> <p>An acoustic assessment with recommendations shall be required by a permit condition to ensure appropriate noise abatement measures are incorporated into the design, in accordance with the decision guidelines of CCZ5.</p> <p>Rooms are provided with adequate space to accommodate the long-term storage needs of students.</p>
Shared facilities	

Policy Strategies	Assessment
<ul style="list-style-type: none"> • Support shared laundry, cooking and dining facilities that are designed to be conducive to incidental socialising. • Encourage the provision of storage areas for property manager’s equipment and building maintenance. • Encourage the provision of waste management facilities. • Locate shared facilities in a safe and accessible area. • Design corridors and stairways to be attractive spaces, with natural lighting and ventilation that is conducive to incidental social interaction. <p>Policy guidance:</p> <p>Providing shared laundry facilities with washing machines, clothes dryers, laundry tubs with hot and cold water and clotheslines.</p> <p>Encouraging shared cooking and dining facilities to include:</p> <ul style="list-style-type: none"> • Space for garbage and recycling bins. • Stove top cookers, refrigerators and freezers. • Sinks with running hot and cold water. • Bench space for food preparation. • Storage space for dry goods. 	<p>Shared laundry (ground floor), cooking and dining areas (level 5) are provided and are located in accessible locations of the development, which will receive adequate access to daylight and ventilation. Level 5 is shared with the outdoor, north facing terrace.</p> <p>Shared lounge / fitness / games and cinema spaces are provided at either ground level or level 5.</p> <p>Shared toilet facilities are provided in proximity to the large communal spaces at the ground and level 5.</p> <p>Supplementary storage spaces are located within the basement level, providing equipment associated with the building management and maintenance.</p> <p>Adequate waste management facilities are provided for the building, subject to the endorsement of an amended Waste Management Plan.</p> <p>Corridors, stairways and other shared spaces are designed to be safe, accessible and provided with adequate natural light and ventilation. Opportunities for incidental student interaction are facilitated through informal lounge and study spaces in communal circulation spaces across the building.</p>
Communal areas	

Policy Strategies	Assessment
<ul style="list-style-type: none"> • Ensure each student has access to communal outdoor space that is well designed, safe and accessible, can be maintained and has adequate solar access. • Ensure provision of well-located internal common areas that are capable of being used for multiple functions to meet a range of study, social, cultural and religious needs. • Encourage a direct relationship between communal outdoor spaces and common internal spaces to enhance function and safety. • Provide adequate lighting of internal and external access areas. <p>Policy guidance:</p> <p>Providing a ratio of 2.5 square metres of communal outdoor space per student, in a maximum of two parcels, each parcel with a minimum width of 3 metres.</p> <p>Providing an internal communal living area with a minimum of 15 square metres in area for every 12 students.</p>	<p>The proposed development includes a total of 270 square metres of communal outdoor open space, including a 227 square metres terrace at level 5.</p> <p>While falling short of the total of 670 square metres (2.5 square metres per student) encouraged by the policy guideline, the communal outdoor space provision is considered to adequately meet the recreational needs of students.</p> <p>We come to this conclusion recognising the surrounding area includes a number of large public open space areas including Lincoln Square directly opposite the Site, University Square and Argyle Square, meeting outdoor recreation needs.</p> <p>The outdoor communal space provided has an appropriate interface with indoor common areas and achieves an adequate level of function, safety and passive surveillance.</p> <p>It is also important to highlight the proposed development provides a total of 606 square metres of internal communal areas, located over floors ground to 5, with the majority located on the ground floor and at level 5. The areas exceed the policy guideline of 15 square metres per 12 students (minimum provision of 335 square metres).</p> <p>Overall, the layout and location of the common areas will be open plan, providing adequate passive natural surveillance, natural daylight access and ventilation, which will enhance the functionality and safety of these spaces for students.</p>

Transport	
<p>Encourage development that provides:</p> <ul style="list-style-type: none"> • Adequate space for bicycle, motorcycle and scooter parking. • Car parking for the management and servicing needs of the building. • Limited or no car parking for students. • Adequate space for loading and unloading vehicles and waste collection. <p>Policy guidance:</p> <p>Providing at least one bicycle parking space per student.</p>	<p>The proposed development provides 72 bicycle spaces, which falls short of the one bicycle space per bed as encouraged by the policy. The proposed use of student accommodation will likely result in a high demand, particularly considering the excellent bicycle path infrastructure in Carlton and the CBD.</p> <p>The subject site is located within City North, characterised as a knowledge precinct with tertiary education facilities located throughout, and excellent access to public transport. It is noted that the subject site is located in close vicinity to University of Melbourne campus (160 m) and RMIT (550 m), and within convenient walking distance of public transport routes to other institutions.</p> <p>The proposed bicycle facilities and allocation are considered to strike a balance for students between cycling and other modes of passive transport, with the provision being considered acceptable in this location.</p> <p>No car parking is provided for the development, appropriate for the location and policy context.</p> <p>Loading and waste collection is provided on-site through a loading bay accessed from Cumberland Place. A condition is recommended for a Loading Management Plan to ensure the safe operation of this space.</p>

Overall, the proposal is considered to comply with the objectives, strategies and guidelines of Clause 16.01-1L. Conditions will be included on any permit being granted requiring the provision of an Operational Management Plan for the building, as well as a Section 173 Agreement giving effect to the Management Plan and ensuring the land used for the accommodation of students only.

1.1.2 Retail premises

A retail premises is proposed at the ground level. Given the internalised nature and shared entry with the student accommodation use, it is likely the tenant will be a commercial use targeted at the student population. The land use does not require a planning permit under the CCZ5, save for some nested land use terms which the applicant has not applied for. The land use is therefore not subject to assessment and is acceptable. A condition will restrict the use of the land to exclude the listed terms nested under retail premises that require a planning permit.

9.2. Heritage considerations

The subject site is affected by the Heritage Overlay, located within schedule HO1122, *Lincoln Square South Precinct*. As mentioned above, the site is graded 'Significant'. Other buildings within the precinct are graded 'Contributory', with the buildings at 623-645 Swanston Street (also partially identified as non-contributory), developed in 2021 with student accommodation of a similar height to this proposal (TP-2017-761/C). The adjoining streetscapes are not identified as significant.

The key heritage considerations for this application are the appropriateness of proposed demolition and the additional built form, and any impacts they may have on the heritage place and precinct.

The objective and strategies of Clause 15.03-1S *Heritage Conservation* are relevant to this proposal where the benefit derived from allowing development of the heritage place is desirable and of critical importance to its long term retention. Key strategies of the Clause include:

- *Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.*
- *Encourage appropriate development that respects places with identified heritage values.*
- *Retain those elements that contribute to the importance of the heritage place.*
- *Encourage the conservation and restoration of contributory elements of a heritage place.*
- *Support adaptive reuse of heritage buildings where their use has become redundant.*

The proposal responds to this policy where the building characteristics that were appropriate for warehouse uses of the past are now an impediment to adaptive re-use to office accommodation for the present. The characteristics include large floor plates, restrictive window design (multi-pane, fixed steel frames, and hopper openings), and in combination with other physical characteristics of the building, the ability to achieve appropriate and desirable ESD initiatives is physically and economically restrictive.

The proposal provides for adaptive re-use in conjunction with retention and conservation of elements that contribute to the grading of the heritage place, such as the substantial brick construction, sawtooth parapet forms, and steel framed window frames with hopper glazing. A detailed Conservation Management Plan submission is recommended to be included in planning permit conditions (should a permit be issued).

In *Ambertree Vic Mel (Lincoln) Pty Ltd v Melbourne CC* [2015] VCAT 1961 which related to a previous VCAT review on this site, the Tribunal made the following observations and assessment, of relevance:

- **Rear elevation:** The rear wall is architecturally notable and relatively intact, therefore it could be incorporated into the new development, except for the lower section needed for carpark and service access.
- **Parapet structures:** The sawtooth and northern corner extension should be retained. The removal of these elements would detract from the building's heritage significance.
- **Addition design:** The addition is a strong architectural concept, but its bulk, setbacks, and materials are visually dominant and unrelated to the host building.
- **Balancing Heritage with Urban Renewal:** The proposal did not meet the necessary planning requirements and would adversely affect the heritage place, even when broader planning considerations were considered.

The proposal ensures the rear elevation is fully retained, the only intrusion into the heritage fabric is limited to a partial demolition on the ground level towards the southern-end of the eastern elevation for the service access. This will be discussed in Section 9.2.1 below.

When comparing with the proposal before the Tribunal in 2015, the current proposal fully retains the parapet structures, including the sawtooth and the extension on the northeastern corner. This will be discussed in Section 9.2.2 below.

The proposed addition is a respectful and well-designed contemporary response that maintains the host building's prominence, uses appropriate setbacks and materials to highlight key heritage features, and incorporates refined detailing that complements rather than competes with the original heritage structure. This will be further discussed in Section 9.2.3 below.

The proposal is considered to provide a balanced response to heritage and urban renewal planning considerations, taking into consideration the demolition, alterations and additions policies under Clause 15.03-1L-02 addressed further below.

The proposal is assessed against the relevant policy guidelines at Clause 15.03-1L-02 as follows:

9.2.1. Demolition

It is policy that:

- *Full demolition of significant or contributory buildings will not generally be permitted.*
- *Partial demolition in the case of significant buildings, and of significant elements or the front or principal part of contributory buildings will not generally be permitted.*
- *Retention of the three dimensional form is encouraged; facadism is discouraged.*

- *A demolition permit not be granted until the proposed replacement building or works have been approved.*

Assessment

The proposal involves partial demolition of the following building elements:

- corrugated roof sheet and internal trusses (parapet walls to the east and west elevations and the lift core retained).
- floor slabs to extent required for new building insertion.
- glazing from the original steel framed windows, as discussed above, shall be reduced in extent to east and south elevation only.
- bricks (masonry and introduced glass and louvres) to the ground floor east elevation to allow the proposed waste and loading arrangement.
- removal of the introduced canopy to Lincoln Square South.
- removal of paint at north east corner parapet to expose sign.

The above extent of demolition continues to retain all four walls, sawtooth parapets to east and west elevations, partial floor slabs, and north elevation glazing extents. The retention of these majority elements and three-dimensional form of the significant building is appropriate and a reasonable response to the policy direction. The partial demolition of a significant heritage building is discouraged by policy, however on balance, considering the strategic imperatives for the development of the site and surrounding context, it is considered that an acceptable outcome is achieved.

In further assessment detail, the demolition works result in the following interventions to the building:

- Removal of the roof material (roof sheet and trusses) is acceptable where the brick sawtooth parapets, original lift overrun, and front and rear parapets are not impacted by the work. As noted in the submitted *Heritage Impact Statement* (B Raworth, March 2025) the roof material itself is not visible from surrounding streets and parkland. In this context, the removal will not result in an altered perception of the three-dimensional form of the building.
- Partial demolition of internal floor slabs for insertion of critical core services is an appropriate response to heritage conservation policy to *ensure an appropriate setting and context for heritage places is maintained or enhanced* (Clause 15.03-1S). The approach is supported where the extent of demolition retains the floor structure to the front (to the depth of two structural bays), and along the east and south elevation (generally to the depth of one structural bay). The design response results in appreciation of the building through activation of the original floor levels and avoids adopting contemporary floor to ceiling dimensions to new internal elements, which would result in a disjointed appearance externally.
- Window glazing removal, as noted above, has been identified as an opportunity to revise the proposed removal to provide a conservation benefit to the building. Extent of removal will be reduced to east and south elevations where visibility from the public realm is reduced, and previous window interventions have occurred. Retention and restoration of steel frames is of further benefit to the proposal and results in the proposed removal extent of glazing being acceptable (subject to recommend conditions regarding north elevation and conservation works detail).
- Demolition to the southern portion of the east elevation at ground level is appropriate where the extent of original fabric to be removed is limited, where previous interventions have installed non-sympathetic ventilation louvres and glass bricks. Since this part of the building is less prominent than the main frontage facing Lincoln Square South, and given the previous interventions, the demolition to allow for a loading bay and building services is acceptable.
- Paint removal is proposed for the upper north-east parapet, with the intention to expose the former signage. Paint removal is also proposed to the west elevation adjacent the council lane. The removal is supported, subject to detailed submission of methodology to ensure safe removal without damaging the underlying surface. This will be secured via the submission of a Conservation Management Works Plan, which will be included as a condition on any permit issued.

Overall, the proposal will not result in facadism as a result of the proposed demolition. While partial demolition is generally not encouraged by policy, it is considered that the extent of retention, in conjunction with the respectful outcome achieved through the massing of the overall development, will suitably maintain the significance of the heritage place.

9.2.2. Alterations

It is policy that:

- *Preserve external fabric that contributes to the significance of the heritage place on any part of a significant building, and on any visible part of a contributory building.*
- *Encourage removal of paint from original unpainted masonry or other surfaces, provided it can be undertaken without damage to the heritage place.*
- *Support new awnings or verandahs that are an appropriate contextual design response, compatible with the location on the heritage place and that can be removed without loss of fabric.*

Assessment

The proposal includes alterations to the heritage fabric of the building, specifically windows and entry requirements at the ground floor. Other than windows, front façade alterations include the replacement of entry canopy and fire service cabinets, which are already introduced elements at this location.

At the building entry, the Heritage Adviser recommendation is to reinstate the secondary brick piers that are evident in the original building construction. The secondary brick piers to the building entrance were removed as part of the revised use of the building from warehouse to office accommodation, where building regulations required the installation of fire booster infrastructure through planning permit TP-1994-964. The fire booster cabinets still exist in this location. The proposal has sought to retain the infrastructure in this position, and as such, are not offering to reinstate the secondary piers. Relocating the fire booster cabinets from the entry (to reinstate the piers) would result in additional intrusive actions to the host building north façade at the street interface, which is a less desirable result. While not an ideal heritage outcome, in this regard the proposal is acceptable.

With regard to window glazing, the current plans indicate the removal of glazed elements in order to open the facades, providing 'balcony-style' internal spaces to the north, east and south elevations at levels 1 to 4.

The proposed window intervention of partially removing glazed sections to allow for natural ventilation to adjoining communal, balcony, and accommodation spaces is a poor outcome from a heritage perspective. The open portions of previously glazed steel window frame will create a "vacant" or "skeletal" look to the building form, not responding to Heritage policies of the planning scheme for *conservation and restoration of contributory elements of a heritage place* (Clause 15.05-1S) and *to encourage retention of the three-dimensional fabric and form of a building* (Clause 15.03-1L-02).

Review of this proposed treatment to the glazing (and in response to concerns raised for an inappropriate heritage presentation for the building) has found that a more sympathetic heritage response can be achieved.

The building 'blueprint' plans and elevations from 1927 (as detailed in *Heritage Impact Statement*, by B Raworth, dated 26 March 2025) show hopper windows operation throughout these elevations at regular intervals. The re-instatement of hopper window forms is considered to be an opportunity to return the historical window presentation of the building after their removal over time (between years 1995 and 1999).

The applicant has indicated the need to ensure appropriate natural ventilation is achieved to the rooms with these internal 'balcony-style' spaces. Further investigations have revealed potential solutions to achieve the natural ventilation requirements that can provide appropriate solid glazed elements that are responsive to the heritage recommendations and balance with necessary ESD elements can be achieved with insertion of fixed hopper style windows, in place of the removed glazing. This is an important aspect to the solid presentation of the building, and a key conservation outcome, to be achieved with further work by the applicant team. A permit condition will be included in any permit issued to ensure the façade of the host

building remains glazed while providing natural ventilations to the future occupants of the student accommodation units.

To the side walls, it is proposed to create openings on the east elevation for loading bay and bicycle storage access. The alterations to this elevation are acceptable where the elevation has been altered previously by the installation of glass bricks and metal panel louvres over time. The window openings on the east and south elevations are supported where the openings in these elevations, on upper floors, are less prominent and the natural ventilation and light requirements associated with the ESD commitments can be achieved here with less impact to the heritage presentation.

Further, the window alterations will need to be undertaken in accordance with a detailed Conservation Works Management Plan (as a condition of permit) resulting in long-term conservation of the steel frames, and the ability to re-insert glazing into the frames, should the building go through further re-use in the future.

On balance, and considering the prior alterations to the building, the proposed alterations are acceptable (subject to conditions) and will not impact the heritage significance of the building.

9.2.3. Additions

The proposed building addition to the host is discussed further below, in response to the DDO61 controls. With regard to the relevant heritage policy, the following strategies apply:

Ensure additions to buildings in a heritage precinct are respectful of and in keeping with:

- *'Key attributes' of the heritage precinct, as identified in the precinct Statement of Significance.*
- *Precinct characteristics including building height, massing and form; style and architectural expression; details; materials; front and side setbacks; and orientation.*
- *Character and appearance of nearby significant and contributory buildings.*
- *Where abutting a lane, the scale and form of heritage fabric as it presents to the lane.*

Ensure additions to significant or contributory buildings:

- *Are respectful of the building's character and appearance, scale, materials, style and architectural expression.*
- *Do not visually dominate or visually disrupt the appreciation of the building as it presents to the street.*
- *Maintain the prominence of the building by setting back the addition behind the front or principal part of the building, and from other visible parts.*
- *Do not build over or extend into the air space directly above the front or principal part of the building.*
- *Retain significant roof form within the setback from the building façade together with roof elements of original fabric.*
- *Do not obscure views of façades or elevations associated with the front or principal part of the building.*
- *Are distinguishable from the original fabric of the building.*

Ensure additions:

- *Adopt high quality and respectful contextual design.*
- *Avoid direct reproduction of the form of historic fabric.*
- *Adopt an interpretive design approach to other details such as verandahs, fences, and shopfronts.*

Assessment

The Lincoln Square South Precinct comprises buildings at 623-645 Swanston, 15-17 and 19-21 Lincoln Square North. The precinct attributes include low to mid-scale warehouse buildings, predominantly of brick construction. The warehouse buildings replaced earlier dwellings in this northern extension to the city. The subject site was recorded in the *Amendment C396 Heritage Category Conversion Methodology Report* (Lovell Chen, 2021) with the following description:

This is the former Allan & Co. Piano store of 1926, designed by Cedric Ballantyne. City North review identifies that it is of aesthetic significance and a landmark building in the stripped classical style. Of five storeys, with a red brick and rendered cornice, sawtooth roof, metal-framed windows, originally with a row of hoppers. The façade is divided into four bays by wide lesenes, which are further subdivided into three sections of varying width by narrower lesenes. The detailing to the uppermost storey is slightly different in that the narrower lesenes do not extend 'over' the horizontal panels between the floor levels.

The proposed addition to the host building is considered to respond to the key attributes in a respectful form, providing for a modern addition that is distinguishable from the host building, and strikes the balance of retaining the host building's dominant three-dimensional form in the streetscape.

The addition incorporates front and side setbacks (with further conditional increase to the east) that allows for key elements of the capped sawtooth to remain as an identifying feature. Additional setbacks are provided to levels 5 and 6 creating "transition" floors between the host building and the contemporary addition, adding "breathing space" behind the sawtooth parapet. The proposal uses sympathetic materials to these transition floors, which further creates "breathing space" to the sawtooth, allowing appreciation of this key element to the host building.

The proposed window forms and materials are suitable contemporary interpretations of the repeated bays of the host, without copying, or inappropriately skewing the understanding of the heritage solid-void format. It is considered that the scale and refined detailing of the addition, along with high quality tile cladding provide for an appropriate and subdued addition to the bold host building.

Council's Heritage Advisor has raised concern with the height of the addition, suggesting it should be reduced (in accordance with the previous approval) to ensure the addition does not overwhelm the host form.

The summary comments include:

- *The tower would be more than twice the height of the existing Significant building.*
- *Tower setbacks are modest.*
- *The tower would overwhelm the Significant building.*
- *As proposed, the height at RL 76.74 would lead to a tower height which is greater than the main parapet height of the existing building.*
- *The setback proposed is insufficient to moderate the impact of this proposed height on the prominence of the Significant building.*

In response to the Heritage Advisor's comments on the proposed height, design changes have been explored to achieve a more modest building form. The applicant notes that reduction in height cannot be achieved where host building slab heights are retained for benefit of activation, ESD response, and interpretation of the heritage form. Retaining the slabs in situ restricts the ability to compress the floor to ceiling heights that could usually assist in overall reduction of built form. The applicant also tested revision to setbacks of the transition floors (including an additional floor), however this resulted in further unbalanced appreciation of the addition when viewed from the north west.

The applicant has now proposed an increase to the eastern side setback at the northern portion of the elevation. The application plans currently propose a setback of 1.03 metres to the side boundary, at level 7, which results in the building form positioned above the east sawtooth, with a small setback, as seen below:

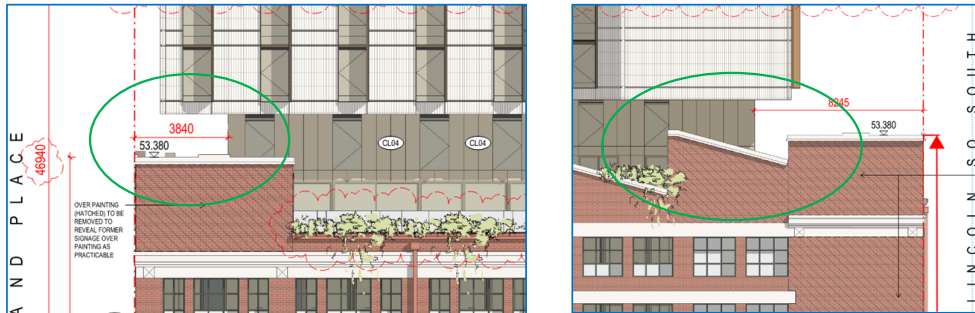


Figure 9 – Excerpts of north (left image) and east (right image) elevations of the proposal (Source: Hayball – revision 2, dated May 2025). Green highlight by officer.

As noted above, the vicinity of the upper addition to the sawtooth is noticeable most prominently at this north east corner of the host building.

The additional 1.03 metres setback away from the east boundary at this location, ensuring the sawtooth parapet presents as the more dominant physical form. The increase setback can be incorporated into the plans via an “amended plans” requirement to permit conditions (should one issue). The following images demonstrate the potential reduction, away from the sawtooth parapet to allow better visual separations between the proposed form and the retained sawtooth parapet form (red area of render, and green line on level 7 floor plan as example):



Figure 10 – Indicative reduction to east elevation by increased setback

Left image: Modified render of the proposal as seen from Lincoln Square east with reduction shown in red supplied by Contour Consultants by email dated 08 August 2025 (Source: Hayball – original image from Urban Context Report, dated March 2025)

Right image: Excerpt of level 7 floor plan of the proposal (Source: Hayball – revision 2, dated May 2025). Green highlight by officer indicating line of proposed increased setback.

When viewing the overall height in parts – host, transition floors, addition – it is noted that the development does indeed achieve a balance of the solid host, recessive transition floors, and subdued material and appropriately setback form of the addition. When viewed from Lincoln Square, the heritage host has a height of 23.58 metres², the addition is 23.36 metres³ above the retained parapet of the heritage host. The numerical ratio identified by the Heritage Advisor is therefore met.

² Measured between the finished footpath level at site’s centre along Lincoln Square South, at RL 29.80, and the top of the retained building parapet, at RL 53.38.

³ Measured between the top of the retained building parapet, at RL 53.38, and the top of the proposed building’s parapet, at RL 76.74.

It is considered that the proposal does strike an appropriate balance, further supported by the surrounding physical and strategic policy context. While there are a number of lower scale heritage buildings in the surrounding area, there is also a strong presence of a contrasting, emerging character of higher order forms and this must be acknowledged.

As such, the Heritage Advisor's review comments (and reference to the prior approval) are acknowledged, but it is noted that the proposal being assessed here sits within a changed context of surrounding contemporary development, including a substantial development within the precinct, that has a similar height to that being proposed.

Consideration has been given to achieving balance in the design response, as opposed to strict adherence to the prior approval criteria. The proposal here includes high quality design and ESD credentials, with commitments to the conservation of the host building, achieving 'balance' against the desires for heritage responsiveness and a recognition of practical and economic considerations.

In *Boroondara CC v 1045 Burke Road Pty Ltd* (2014) VSC 127, the Supreme Court addressed the question of how the conflicting purpose of the Heritage Overlay and other Planning Policies are to be resolved. It was stated that:

[...] the Tribunal recognised that it was required to exercise a discretion regarding demolition and that, while the policy in cl 22.05-3 was strongly worded against demolition, it could not be a proscription that determined an outcome.⁴

In *University of Melbourne v Minister for Planning and Anor* (Red Dot) [2011] VCAT 469 40 VPR 315, former Deputy President Gibson and Member Read in their decision mentioned that:

Yet cities must be regarded as palimpsests: they must be capable of growth and adaptation to meet new needs. Over times the buildings of one era will invariably require replacement or adaptation to meet these needs. It is important to conserve and enhance buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value. However, when a conflict arises between this objective and other objectives, and a choice must be made between them, the Tribunal must balance those conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations.⁵

In this regard, the proposal is considered to achieve an acceptable balance between achieving the high level of growth encouraged by the policy framework, zoning and DDO61, while also achieving a design which is considered respectful of the significance of the heritage place. [The proposal delivers student accommodation that supports the City North education and research precinct, reactivates a vacant building through adaptive reuse, which is considered to be a net community benefit.](#)

9.2.4. Concealment of additions strategies

Outside the Capital City Zone and Docklands Zone, additions are:

- *Concealed in other streetscapes for significant buildings, for a second-storey addition to a single storey building, concealment is often achieved by setting back the addition at least 8 metres behind the front facade.*
- *all additions to corner properties may be visible, but should be respectful of the significant or contributory building in terms of scale and placement, and not dominate or diminish the prominence of the building or adjoining contributory or significant building.*

Assessment

The land is located within the Capital City Zone and as such, policy for concealment is not applicable.

⁴ Paragraph 19.

⁵ Paragraph 81.

9.2.5. Services and ancillary fixtures

Ensure services and ancillary fixtures, in particular those that will reduce greenhouse gas emissions or water consumption such as solar panels, solar hot water services or water storage tanks, may be permitted on any visible part of significant or contributory buildings, where:

- It can be demonstrated there is no feasible alternative.
- It will not detract from the character and appearance of the building or heritage place.

Ensure items affixed to roofs, such as solar panels, align with the profile of the roof.

Ensure services and ancillary fixtures are installed in a manner where they can be removed without damaging significant fabric.

Assessment

Concern was raised by the Heritage Advisor around the possible visibility of balustrading behind the host building parapets, and for the addition of rooftop plant structures.

With regard to the balustrades, the north elevation is proposed to include a 1.8 m high glazed screen (effectively a clear un-capped balustrade) set back 1.2 m behind the host building roof parapet, see below:

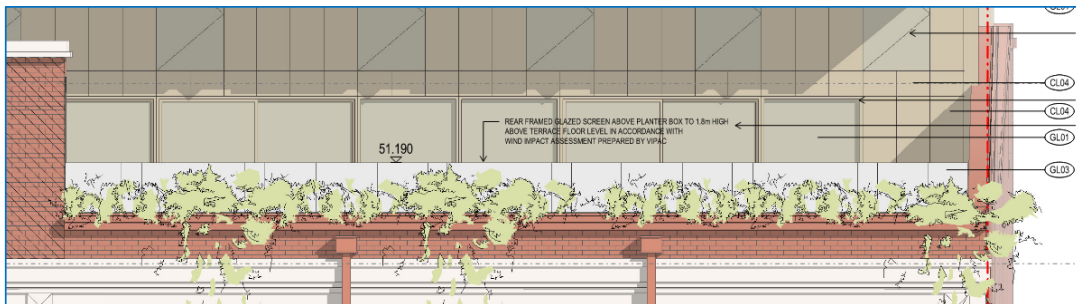


Figure 11 – Excerpt of north elevation of the proposal noting glass balustrade behind parapet (Source: Hayball – revision 2, dated May 2025).

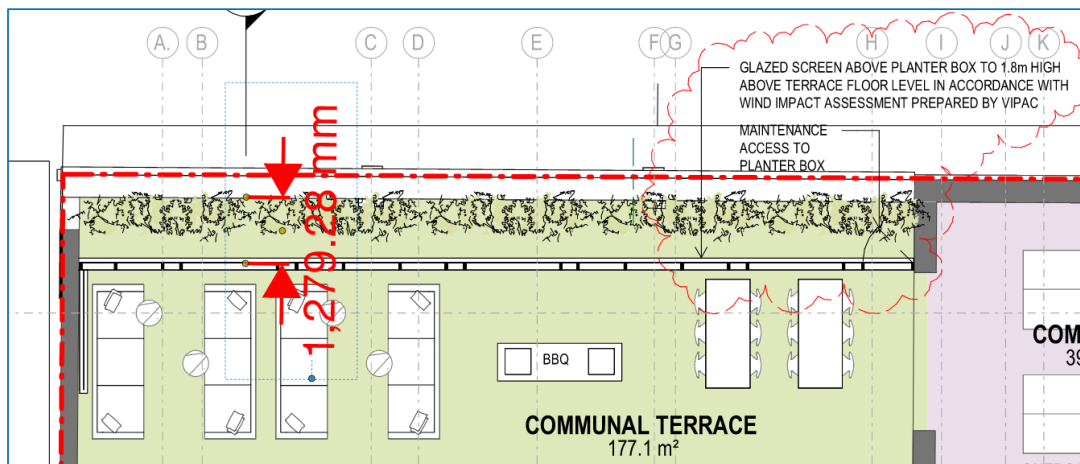


Figure 12 – Excerpt of level 5 floor plan (at north building edge) of the proposal noting setback of glass balustrade behind parapet (Source: Hayball – revision 2, dated May 2025). Dimensioned setback by officer.

The balustrade material was previously identified as a vertical black metal bar form and has been revised to the above clear glazed form in response to both the heritage review and Wind Impact Assessment.

The clear glazed form will be unobtrusive, setback from the host building edge, and will not be a dominant feature when viewed from Lincoln Square. At pedestrian level, the balustrade will not be visible.

On the eastern elevation, the retained sawtooth structures act as the balustrade, as the floor level behind the retained parapet is 1.4 m below the lowest part of the sawtooth structure. This height exceeds the minimum requirements and as such no additional balustrading is required to the east.

With regard to rooftop screening of services, the applicant has indicated that the screening may be further setback from parapet edges, however they maintain that the screening and plant will not be visible from viewpoints. Further, the applicant advises that constraints of the host building require that the majority of services be located within the roof, due to spatial limitations within the retained building fabric.

The proposed setback of the services screening is 2.14 m from the front (north) façade edge and 3.44 m from the east façade edge. The services screen has a height of 1.55 m, and as such, has limited view by pedestrians at street level or from Lincoln Square.

The applicant has put forward an increase of setback by 1 m from the north. The additional setback will ensure any visibility of the services screen is further reduced and is a visually recessive element of the proposed addition. To ensure thorough investigation, a condition requires revision to the screening to ensure any visibility is reduced through further setbacks from roof edges. Additional services at the ground level are appropriately located along the rear.

9.3. Built form and public realm impacts

In *Ambertree Vic Mel (Lincoln) Pty Ltd v Melbourne CC [2015] VCAT 1961*, the Tribunal made the following observations and assessment on built form, of relevance:

- **Building height:** The exceedance of 11.5 metres above the preferred maximum was not supported. The additional height failed to distinguish itself adequately from taller forms in the Hoddle Grid and did not respect the character of Lincoln Square.
- **Visual Impact:** The building created an uncomfortable scale and screened rather than transitioned to taller forms. The rising topography of Lincoln Square amplified this visual dominance.
- **Upper-level setbacks from Cumberland Place:** Insufficient evidence that minimal setbacks would maintain daylight access and amenity in the lane.

The proposed overall building height is 46.94 metres. Taking into consideration the emerging character of the area, the exceedance above the preferred height control is considered to be acceptable. For detailed assessment, refer to section 9.3.2 below.

In relation to visual impact, the balance of the building proportions is addressed in section 9.2.3 where it is noted that when viewing the overall height in parts – host, transition floors, addition – the development does indeed achieve a balance of the solid host, recessive transition floors, and subdued material and appropriately setback form of the addition. This proposed scale responds to the criticism of the Tribunal in 2015 where that proposal sought to exceed the DDO61 height by 11.5 m resulting in a top-heavy addition more akin to central city forms. The Tribunal also commented that the proposal was considered visually dominant and not sufficiently visually recessive and more diminutive than the building base.

The proposal here provides a more contextual response to the host building, with reduced height, and bulk through setbacks from all host elevations, and a restrained, high quality palette of materials use. The design response results in an acceptable visual presence in the skyline, with appreciable difference to the higher built forms of the central city backdrop to the south.

Review by Council's City Design Unit highlighted the positive aspects of the proposal noting that retention of part of the floor slabs of the existing building is a costly design choice, but one that is of overall benefit.

The proposed retention of floor to ceiling heights in the host building does result in the increase to overall height of the development. Alternative construction methodology of removal of the slabs and provision of more conventional floor-to-ceiling heights would decrease the overall height but result in a disjointed appreciation of the host building internally and externally where new storeys will not align with the host building window locations.

The proposed materials for the addition are supported and indeed are an important element to the overall acceptance of the proposal by City Design. Retaining the high-quality material will remain a focus in any future revisions, should the development proceed through design review phases. The recommendations of City Design regarding the materiality are noted, with a condition requiring a Façade Strategy to be included should a permit be issued.

In relation to public realm impacts, the relevant planning assessment framework requires consideration of overshadowing impacts to public open spaces, and amenity impacts including overlooking. Wind effects are considered within the requirements of DDO61. The built form outcomes of the proposal are discussed in relation to these considerations below.

The proposal is considered to achieve a positive built form response to the opportunities and constraints of the site, having regard to the immediate and wider context. Specific built form guidance for the development of the land is contained within the CCZ5 and DDO61.

9.3.1. Capital City Zone and the Planning Policy Framework

A permit is required under the CCZ5, for demolition and to construct a building or carry out works.

The applicable decision guidelines of the CCZ5 for buildings and works require, among other things, consideration of the relevant planning policy framework, particularly those under Clause 15.01 (Built Environment), as well as those relating to transport, economic development, infrastructure and amenity.

The appropriateness of the proposed built form outcome is assessed in greater detail below against the relevant design objectives of the DDO61.

The zone objectives and policy framework applicable to City North seeks a level of growth and intensification which will strengthen its role as a mixed use extension of the central city and an internationally renowned knowledge district, characterised by its range of educational and medical institutions. It also seeks to encourage a range of uses which complement this function and serve the needs of residents, workers, students and visitors.

It is considered that the proposal is generally consistent with these objectives and would contribute to the development of locally significant building while achieving a high standard of design. The immediate surrounds include a variety of uses in line with the precinct objectives described above, featuring developments associated with the nearby University of Melbourne, student housing and mixed use developments. The proposal would further consolidate the vision for the precinct by delivering a high standard of student housing near the city's educational institutions, as well as a complementary retail offering at the ground floor interfacing with the street.

The proposal is considered to satisfy the relevant decision and policy guidelines specific to buildings and works and the built environment, for the reasons discussed throughout this report. The building is considered to be of an appropriate scale and mass having regard to the strategic and urban context of the site, with particular regard to the heritage form of the host building, and the surrounding forms within the Lincoln Square South heritage precinct. The scale of redevelopment to the adjacent land at the corner of Swanston Street and Lincoln Square South is an important reference point for consideration of responsiveness to the surrounding character.

The layout of the development is considered to achieve an acceptable outcome as it presents to its street interfaces in terms of its form, scale and program. The retention of the host building facades to all street interfaces is a desirable heritage response, with the necessary interventions at Cumberland Place to the south-east portion for loading, waste collection and building services being an appropriate location with low impact to the public realm.

The provision of a retail tenancy internal to the ground floor with interface to the street through the retained heritage window forms and glazing will provide for activation, vibrancy and fluidity of the student accommodation use along the Lincoln Square South streetscape. The primary building entry is to be retained in the host building facade, with good levels of passive surveillance available to and from communal ground floor spaces which will enhance the safety and amenity of the use.

A new glazed entry to the building off Cumberland Place is provided for the resident bicycle store. The internal space retains the glazed elements to the Cumberland Place façade, with both elements allowing natural light, activation, and passive surveillance enhancing the public realm in this location with an interface to the rear pedestrian access and activity of 623-645 Swanston Street. The proposed development aligns with transport policy by providing safe access and egress for the public, relying on the use of existing roads for pedestrian and cyclist access to the site via these street frontages. As noted, Cumberland Place is also proposed to be utilised for service access, which is conducive to its role as a laneway servicing property along Lincoln Street North, Swanston Street and Bouverie Street.

The site is afforded with excellent access to sustainable, alternative modes of transport, the provision of bicycle spaces in excess and the provision of zero on-site car parking accords with transport policy which discourages private vehicle use.

The landscaping response is relatively minor in this proposal due to the restrictive context of the host building. Areas of landscaping are available internally at ground floor and externally at the level 5 terrace, (which for the most part will be concealed behind the host building parapet). Provision and ongoing maintenance of landscaping elements will contribute to the amenity of the future building occupants, and to the public realm also. Plantings behind the north parapet have potential to spill over or rise above the parapet, providing a green break between the host building and the modern addition. The proposal would result in a net increase in on-site planting which will contribute to policy goals in relation to increased landscaping cover and climate change resilience, in addition to improving the amenity of the immediate area.

Overall, it is considered the proposal is an acceptable outcome having regard to the CCZ5 and relevant policy framework.

9.3.2. Design and Development Overlay - Schedule 61

The appropriateness of the built form outcome is guided by the requirements of DDO61. Clause 5.0 of DDO61 provides that before deciding on an application, the responsible authority must consider, as appropriate:

- *Whether the proposal achieves the design objectives in Part 1.0 of this Schedule.*
- *Whether the proposal achieves the built form outcomes contained in Table 1.*
- *Whether the proposal achieves the design requirements contained in Table 2.*
- *Whether the development maintains and enhances the character and amenity of the streetscape.*
- *The wind effect at ground level as demonstrated by wind effects studies as necessary.*

The relevant Design Objectives in part 1.0 of the schedule are as follows:

- *To encourage City North to develop as a central city precinct characterised by university, research and medical buildings.*
- *To establish a mid-rise scale of buildings (6 to 15 storeys) that is distinct from the tall built form in the Hoddle Grid area to the south, which steps down at the interface to the lower scale surrounding established neighbourhoods in North and West Melbourne.*
- *To ensure development responds appropriately with suitable building scale, heights and setbacks to the existing character, context, and interfaces with established residential areas, and immediate amenity.*
- *To ensure that new buildings respect the rich heritage fabric of the area and that new buildings that adjoin the heritage buildings respect their height, scale, character and proportions.*
- *To design buildings to provide passive surveillance and activation of ground floors addressing the streets.*
- *To ensure development allows good levels of daylight and sunlight to penetrate to the streets and to lower storeys of buildings by providing adequate separation between buildings.*

- *To deliver a scale of development that provides a high level of pedestrian amenity having regard to sunlight, sky views and wind conditions.*

The proposal responds positively to the general Design Objectives through provision of a complementary use and development to the surrounding university and medical precinct. The retained and adapted host building provides an excellent opportunity for the existing streetscape character to be retained, and utilised, providing an engaging and active ground level interface for student occupants and pedestrians to access amenities of the area including Lincoln Square. A more detailed assessment against the built form outcomes, objectives and design requirements of Schedule 61 to the Design and Development Overlay are as follows:

Built Form Outcomes (Table 1)

Clause 7.0 of Schedule 61 to the Design and Development Overlay sets out the following preferred built form outcomes for Area 4.1 (as deemed relevant to the proposed development) in Table 1, which are assessed below:

DDO Area	Building Height	Street edge height and upper level setback	Built Form Outcome
4.1	40 metres	<p>Buildings fronting Grattan, Pelham, Queensberry, Bouverie, Leicester, Barry, Berkeley and Lincoln Square North and South streets:</p> <ul style="list-style-type: none"> • 24 metre street edge height. • Any part of the building above 24 metres setback 6 metres from the street. <p>On the street edge of laneway frontages, any part of the building above 10.5 metres should be setback 4 metres.</p>	<p>Development that:</p> <ul style="list-style-type: none"> Creates stronger definition to the streetscape. Complements the existing character established by the university, research and medical buildings. Ensures sunlight reaches the lower floors of new developments. Delivers a scale of development that provides street definition and a high level of pedestrian amenity, having regard to access to sunlight, sky views and a pedestrian friendly scale. Provides a street edge height that integrates new development with lower scale heritage buildings. Development that ensures laneways have appropriate access to daylight and sunlight.

DDO Area	Building Height	Street edge height and upper level setback	Built Form Outcome
Assessment: Complies with built form outcomes			
<u>Building Height</u>			
The proposed overall height of the addition and host building is 46.94 m, exceeding the preferred building height of 40 m.			
It is noted that the height of the building would be compatible with the emerging character of the area, where there are examples of recent buildings exceeding the preferred height limit:			
<ul style="list-style-type: none"> • 18-20 Lincoln Square North at 46 metres • 1-13 Lincoln Square South: part 11 storey and part 15 storey at 46.60 metres • 123-131 Bouverie Street at 44.45 metres • 183-187 Grattan Street and 166-176 Bouverie Street at 49 metres. 			
The proposed height is a critical element to the adaptive re-use of the host building for the following reasons:			
<ul style="list-style-type: none"> • The retention of floor to ceiling heights in the host building provides substantial benefit from a sustainable building / construction perspective, retaining embodied carbon as opposed to the loss and waste produced by removing the host building floor slabs completely. • Further, the retention provides for greater legibility internally and externally of the host building, where activity will remain aligned with floor heights of the original form. To achieve a reduction in overall height, the development would need to be “compressed” within the retained façade walls, resulting in a disjointed alignment of floor / ceiling positions in relation to façade window openings. The proposed approach is therefore sympathetic to the host building’s three-dimensional form, appearance, and adaptive re-use which are desirable heritage policy outcomes. 			
In addition to the above points, the height of the development would not result in unreasonable impacts on the amenity of the private or public realm, as evidenced through the responsiveness to the following assessment matters of table 2 below.			
<u>Street edge height and upper level setback</u>			
The retention of the host building is a critical element of the development’s response to the desired outcomes for street edge scale and retention of on street amenity.			
The sheer façade of the host building at all street interfaces (Lincoln Square South and the side and rear lanes) provides an existing character and is of an appropriate height in the precinct at 20.5 m (increasing to 22.94 m at the north-east corner and sawtooth edges). This building scale is typical for retained warehouse buildings, providing an accepted extent of light and shade in the surrounding lanes, noting that the form does not impact the appreciation of Lincoln Square due to significant separation provided by the street width.			
Above the host building, the setback to the addition is 6.48 metres from the Lincoln Square South site boundary (with the transition levels 5 and 6 being setback further at 8.29 metres). The setbacks exceed the requirements of the schedule.			
To the east and south where the site interfaces with Cumberland Place, the schedule seeks upper level setbacks of 4 metres.			
More specific to the eastern interface, the proposal includes a setback of 1.03 m to the northern portion of the east elevation at levels 7 and above, and a setback of 1.73 m to the southern portion of the elevation where the width of Cumberland Place is increased. It is noted the applicant has agreed to a permit condition to increase the setback of the northern portion to 2 m to provide a greater separation space to the host building’s east sawtooth parapet.			
The proposed eastern setbacks from the laneway are a variation from the desired objective of the schedule, however are considered appropriate where the response continues to provide an appropriate built form outcome. Specifically, the setbacks continue to allow separation to the surrounding built form on the opposite side of the lane, ensuring satisfactory access to both daylight and sunlight. Assisting this is the 10.45 m separation to the			

DDO Area	Building Height	Street edge height and upper level setback	Built Form Outcome
<p>development at 623-645 Swanston Street. Further, it is noted that the sites at 19-21 and 15-17 Lincoln Square South are unlikely to be developed to a substantial height due to their restrictive land size. Their low scale ensures good daylight penetration to Cumberland Place, against the existing host building five storey form.</p> <p>To the south, the proposal has a south setback of 2.95 m to the title boundary with Cumberland Lane, allowing a separation of 7.48 m to the adjacent building at 621A Swanston Street.</p> <p>As with the eastern setback, the proposed setback to the south is considered satisfactory given the north-south orientation of the lane, and the existing impact on sunlight penetration to the laneway by the host building form. This was previously commented on in the 2019 assessment where Council’s Urban Design team noted that, in context with the retained host building “a further setback (upper level) to 4 m from the boundary would have a negligible impact beyond a compliant form.”</p> <p>To the west, the proposal provides a void of 5.36 m in depth from the common boundary with the unnamed council lane (CL1094), 6.5 m in length (9 m in total where part is abutting the west private land). The remaining built form of 10.7 m is proposed to be built to the site’s west boundary abutting the lane.</p> <p>The proposed built form on this west boundary with the lane is appropriate where the lane is not a public throughfare and has a primary purpose for servicing of the adjacent buildings. There is no necessity to provide the built form outcomes sought by the schedule for this lane.</p>			

Design Requirements (Table 2)

Clause 7.0 of the DDO61 sets out the following design objectives and design requirements (as deemed relevant to the proposed development) in Table 2, which are assessed below:

Design Objective	Design Requirement
<p>Building Heights, Scale and Setbacks</p> <p>To ensure that the height of new buildings reinforces the built form character of specific areas as defined in Table 1 in this Schedule.</p> <p>To ensure appropriate building scale, height and setbacks at interfaces with established residential areas having regard to existing character, context and amenity.</p> <p>To ensure appropriate building scale on the side and rear boundaries of new buildings and works that respects the scale of existing adjoining buildings.</p> <p>To avoid to exposed blank walls.</p> <p>To assist in limiting visual impact and adverse amenity on adjacent development sites.</p> <p>To promote articulated rooflines with architectural interest and variation.</p> <p>To establish a generally consistent built form to the street edge that creates a strong sense of definition and place.</p> <p>To ensure that the scale of built form provides an urban environment that is comfortable for pedestrians.</p> <p>To ensure equitable and good access to sunlight / daylight for occupants of buildings and in public places.</p> <p>To ensure that new development is adaptable over the long term to a range of alternate uses.</p>	<p>Deliver a scale of development at the street edge in accordance with Table 1 in this Schedule.</p> <p>Buildings should be constructed to the street boundary of the site.</p> <p>Upper levels above the maximum street wall heights should be visually recessive and more diminutive than the building's base.</p> <p>Buildings should have a minimum ground floor to floor height of 4 metres at ground floor and a minimum floor to floor height of 3.2 metres in levels above the ground floor.</p>
<p>To ensure that new buildings and works adjoining individually significant heritage buildings or buildings within a heritage precinct respects the character, form, massing and scale of the heritage buildings.</p>	<p>The design of new buildings should respect the character, height, scale, rhythm and proportions of the heritage buildings.</p> <p>New buildings should step down in height to adjoining lower scale heritage buildings.</p> <p>New buildings should consider retaining the traditional heritage street wall (as opposed to defining a new higher street wall) where appropriate.</p>

Design Objective	Design Requirement
Assessment: Consistent with objectives and requirements	
The proposal has a positive response to the design objectives and requirements.	
As noted in Table 1, the proposal is considered to be a positive response to the overall scale, height and setbacks of the built form, acknowledging the host building as a key element to be retained and actively used in the development. The scale of development will avoid excessive demolition of building structure, in favour of a legible understanding of the building's historical three-dimensional existence, and a commitment to accurate restoration of materials including window operation.	
Proposed material selection of the addition is critical to the acceptance of the overall height and scale (as noted by Council's City Design team), with the Alabaster ceramic tile cladding being a unique and high quality material which will allow the red brick 'English-bond' warehouse host building to continue to sit proudly in the streetscape. Dark bronze clad transition floors, and window shrouds provide quality and durable material contrast to the tile cladding, without overwhelming the host building key elements of white render-capped sawtooth parapets and repeated geometric steel framed glazing.	
Portions of blank walls are present to the east and west elevations, however the material selection noted above provides significant interest and warmth to ensure the portions are not detrimental to the three dimensional appreciation.	
With regard to visual amenity impacts to surrounding occupants, services are screened on the roof, with screening to be reduced in extent, further setback away from the parapet, in response to concerns for visibility.	
Overall responsiveness to the character and features of surrounding built form is positive where the addition provides an acceptable rhythm of solid-to-void fenestration, balancing the materiality in context with the surrounding modern developments, and also responding to the solid form of the host building.	
As noted in Table 1, the proposed setbacks are acceptable and will continue to provide an appropriate upper floor form in the adjacent Cumberland Lane. Setbacks will not detrimentally impact the sunlight available to the adjacent lane and pedestrian spaces, with the host building continuing to provide light and shade, and activity to both the lane and Lincoln Street South streetscapes.	
With regard to adaptive ground floor uses, the student accommodation use has the opportunity to be internally redesigned for future private dwellings or other accommodation, with the ground floor suitable for resident amenities, and the continued activation by the internal retail space. Floor to ceiling height exceeds the requirement of the schedule due to the retention of the host building floor slabs.	
The proposal has integrated several design features to respond to the proportions and features of the host building. In addition to those noted above, the proposed addition provides for a sympathetic transition between the host building and the new addition through the reduced floor plates of levels 5 and 6. The additional setbacks from behind the building parapet seek to reduce the overall scale of the addition through articulation above the parapet roofline, providing space and defining the edge of the host building from various viewpoints. The additional 1 m setback to the east elevation will further assist in giving prominence to the host building.	
As a metric, the addition above the transition floors has a height of 21.6 m, comparable to the street wall height of the host building at 20.5 m. As such, when viewed as two appreciable parts of the development, the upper section has a similar height but is of a less dominant volume to that of the solid, cuboid host building, where the addition includes vertical articulation away from the host building elevations. A further reduction of built form away from the east by 1 m for the northernmost 8.3 metres of the addition from Level 7 onwards (through a permit condition) will assist the appreciation of reduced volume further.	

Design Objective	Design Requirement
<p>Building Facades and Street Frontages</p> <p>To ensure that buildings are well designed and enhance the amenity of City North.</p> <p>To deliver a fine grain built form with architectural variety and interest.</p> <p>To encourage high quality facade and architectural detailing.</p>	<p>Addressing the Street</p> <p>The articulation of building facades should express a fine grain. Expressing the vertical elements is encouraged to minimise the dominance of wide building frontages.</p> <p>Multiple doors/entrances to buildings and windows should be provided off the street to improve activation of the street.</p> <p>The facades of buildings should maintain the continuity, and traditional characteristic vertical rhythm of streetscapes.</p> <p>All visible sides of a building should be fully designed and appropriately articulated and provide visual interest.</p> <p>Blank building walls that are visible from streets and public spaces should be avoided.</p> <p>Buildings on corner sites should address both street frontages.</p> <p>Service areas</p> <p>Service areas (plant, exhaust, intake vents and other technical equipment and other utility requirements) should be treated as an integral part of the overall building design and visually screened from public areas.</p> <p>Buildings should be designed to integrate attachments (including antennae) without disrupting the appearance of the building.</p> <p>Building Projections</p> <p>Building projections outside the property boundary should accord with Council’s Road Encroachment Guidelines.</p>
<p>Assessment: Consistent with objectives and requirements where relevant</p> <p>The proposal includes the retention of the heritage listed host building, therefore will continue to provide a fully designed and visually interesting experience to the street. While the existing building presents a unique context, the design successfully responds to these conditions with thoughtful and well-executed architectural solutions.</p> <p>Integration of services and projections is sympathetic to the heritage significance, with the provisions of services such as loading and fire service infrastructure in areas of the host building that have been previously altered.</p>	
<p>Active and Safe Street Frontages</p> <p>To create safe streets.</p> <p>To ensure all streets are pedestrian oriented and contribute to pedestrian safety.</p> <p>To ensure development presents welcoming, engaging and active edges to streets and other public spaces at ground floor and the street frontages of lower storeys.</p> <p>To ensure development contributes to passive surveillance of the public domain.</p>	<p>Ground floor frontages should contribute to city safety by providing lighting and activity.</p> <p>At least the first five levels of a building should provide windows and balconies, fronting the street or lane.</p> <p>Access to car parking and service areas should minimise impact on street frontages and pedestrian movement.</p> <p>Facades at ground level should not have alcoves and spaces that cannot be observed by pedestrians.</p>

Design Objective	Design Requirement
<p>Assessment: Consistent with objectives and requirements where relevant</p> <p>The proposed use of student accommodation achieves an active use at both day and night hours, ensuring passive surveillance to Lincoln Square South and Cumberland Place will be increased and benefit from the interfaces and occupancy.</p> <p>The development has sought to provide safe spaces, entries and lighting, especially to the secondary bicycle entry of Cumberland Place.</p> <p>Loading access at the south of Cumberland Place will be appropriately managed through a permit condition, ensuring safe use with little impact to laneway uses.</p>	
<p>Provision of Public Places</p> <p>To encourage the provision of well-designed and publicly accessible spaces</p>	<p>The opportunity for the inclusion of public spaces should be promoted.</p>
<p>Assessment:</p> <p>The proposal does not include any additional public spaces.</p>	
<p>Sunlight to Public Places</p> <p>To ensure that new buildings allow daylight and sunlight penetration to public spaces, and open space throughout the year.</p> <p>To protect sunlight to public spaces.</p> <p>To ensure that overshadowing of public spaces by new buildings or works does not result in significant loss of sunlight.</p>	<p>Buildings and works should not cast a shadow between 11.00 am and 2.00 pm on 22 March and 22 September over public space, public parks and gardens, public squares, major pedestrian routes including streets and lanes, and privately owned plazas open to the public. A permit may only be granted if the overshadowing will not prejudice the amenity of those areas.</p> <p>Maximise the extent of the northerly aspect of public open spaces.</p> <p>Ensures sunlight reaches the lower floors of new developments.</p>
<p>Assessment: Consistent with objectives and requirements</p> <p>The development does not impact the access to sunlight from any surrounding public parks or spaces.</p> <p>The proposal includes a north oriented open space terrace, and individual balcony spaces for building occupants, utilising the expansive glazing of the host building. The host building form and proposed use does result in some limitations to achieving direct sunlight to lower floors, however this is offset by the excellent access to public open spaces in the location immediately opposite being the obvious example.</p>	

Design Objective	Design Requirement
<p>Pedestrian Links</p> <p>To accommodate vehicular and service access to developments.</p>	<p>Bluestone lanes, kerbs and guttering within heritage precincts must be retained, and should also be retained outside heritage precincts.</p> <p>The pedestrian amenity of lanes which are primarily used for servicing and car parking, should be improved through the use of materials, lighting and designated areas for pedestrians and vehicles.</p> <p><u>Buildings and works adjoining lanes</u></p> <p>The design and management of access and loading areas along lanes should not impede pedestrian movement.</p> <p>New development should respond to the fine grain pattern, vertical articulation and division of building frontages where this forms part of the lane way character.</p> <p>New development along lanes should provide highly articulated and well detailed facades that create visual interest, particularly at the lower levels.</p>
<p>Assessment: Consistent with objectives and requirements where relevant</p> <p>Works within Cumberland Lane for the introduction of the loading bay and access to end of trip facilities will be completed sensitively in accordance with conditions, should a permit be granted. The works to create the loading bay and bicycle facilities access will be of a minimum extent to ensure as little heritage fabric is altered as reasonable to provide the required level of servicing. Lighting has been incorporated into the host building’s eastern elevation to assist in pedestrian safety and movement.</p>	

Design Objective	Design Requirement
<p>Weather Protection</p> <p>To promote pedestrian amenity.</p> <p>To ensure built form does not increase the level of wind at ground level and that buildings are designed to minimise any adverse effect on pedestrian comfort.</p>	<p>The design of the building should minimise the potential for ground-level wind and any adverse effect on pedestrian comfort as follows:</p> <ul style="list-style-type: none"> • In the proposed activity nodes shown on Map 1 the peak gust speed during the hourly average with a probability of exceedence of 0.1% in any 22.5° wind direction sector should not exceed 10 ms-1. This speed is generally acceptable for stationary, long term exposure (>15 minutes); for instance, outdoor restaurants/cafes, theatres • Along major pedestrian areas shown on Map 1 the peak gust speed during the hourly average with a probability of exceedence of 0.1% in any 22.5° wind direction sector should not exceed 13 ms-1. This speed is generally acceptable for stationary, short term exposure (<15 minutes); for instance, window shopping, standing or sitting in plazas; • Along all other streets the peak gust speed during the hourly average with a probability of exceedence of 0.1% in any 22.5° wind direction sector should not exceed 16 ms-1 (which results in half the wind pressure of a 23ms-1 gust) which is generally acceptable for walking in urban and suburban areas. • Landscaping within the public realm should not be relied on to mitigate wind.
<p>To protect pedestrians from the elements by providing shelter from the rain and sun, without causing detriment to building or streetscape integrity.</p>	<p>Buildings should include protection from the weather in the form of canopies, verandas and awnings.</p> <p>Protection need not be provided where it would interfere with the integrity or character of heritage buildings, heritage precincts or streetscapes and lanes.</p>
<p>Assessment: Responds to design objectives</p> <p>The retention of the host building and its heritage form restricts the potential to provide an ideal pedestrian weather protection outcome. However, the proposal includes a new entry canopy at the main entry, allowing protection in this space.</p> <p>With regard to wind impacts from the proposal, the application includes a preliminary investigation of potential impacts by Vipac which concludes the proposal is likely to meet the relevant comfort criterion. The assessment did not extend to a specific wind tunnel assessment against the DDO61 design requirements here, and as such recommends that this testing should occur at detail design stage to confirm assumptions made. As such, a condition is recommended to require the demonstration of responsiveness to the design requirement.</p>	

9.3.3. Amenity Impacts

The decision guidelines of the CCZ5 require consideration of the following matters relating to external amenity:

- The existing and future use and amenity of the land and the locality.
- The impact a new development will have on the amenity of existing dwellings on adjacent sites and how this impact has been minimised.

The previous Tribunal decision for a development on the site provides useful guidance on off-site amenity impacts⁶ considerations:

- **Overshadowing impacts:** Acknowledged that there would be some additional shadowing, it was largely confined to the morning hours and did not significantly affect sensitive areas such as private open space or habitable room windows of nearby dwellings. The Tribunal concluded that the overshadowing impacts were acceptable in the context of an inner urban setting.
- **Visual bulk and massing:** The Tribunal acknowledged that the proposed height and scale would be noticeable but found that the setbacks, articulation, and tower separation helped reduce the perception of bulk. It was satisfied that the design response appropriately balanced development potential with amenity protection.
- **Overlooking:** It was noted that appropriate screening and separation distances to prevent unreasonable overlooking into nearby residential properties were adopted. The Tribunal accepted that the design complied with the relevant assessment under Clause 55 and Clause 22.17, and that privacy impacts were adequately managed.

Since the previous VCAT decision, a number of sites within the locality have changed use or been developed, generally for commercial or educational purposes and other student accommodation buildings, with the exception being four residential apartments on level four of the adjoining building to the west at 33-41 Lincoln Square South. This building also caters for office accommodation on the remaining levels.

As noted above, impacts to surrounding amenity were considered in the previous assessments for applications on the subject site, with the 2015 VCAT determination concluding the policy context of the CCZ5 and the envisaged development context of the DDO61 were important factors in consideration of surrounding amenity expectations.

With regard to the adjoining residential apartments, shadow impacts to balconies and courtyards are limited to early in the morning, and there are no unreasonable overlooking opportunities from the proposal's west elevation to consider.

Impacts to the accommodation building at 621A Swanston Street were also considered in the 2015 VCAT determination. At the time of the decision, the use was for a "hostel", with the Tribunal determining that there would be an increase in shadow impact to the building, but that this is not unreasonable in the policy context. In addition to the Tribunal comments, it is noted that the host building provides an existing shadow impact to 621A Swanston Street due to the size and relative position. With regard to overlooking, the previous decisions did address potential overlooking concerns across Cumberland Place, from the new habitable rooms of the proposal's south elevation. It is considered reasonable that the proposal again demonstrates the limiting of overlooking to 621A Swanston's accommodation rooms, via a permit condition (should a permit be issued).

9.3.4. Equitable Development

Equitable development is a relevant matter due to the density proposed and the adjacent building to the south. An equitable development outcome would need to ensure that the proposed interface provide sufficient separation between itself and the site to the south being 621A Swanston Street. The separation is required to ensure that the adjoining property to the south, when redeveloped, will not be unreasonably restricted to accessing appropriate light, air and outlook.

In this instance, the separation between built form across Cumberland Place will be increased by the proposal's southern setback of 2.6 metres (from the south title boundary), an average of 5 metres from the centre of Cumberland Place, and equating to a separation of an average of 7.39 metres to the title boundary of 621A Swanston. When redeveloped, this separation will be in the order of 9-10 metres where the development will need to provide side setbacks anticipated by the DDO requirements. This separation

⁶ Paragraphs 75-78 of *Ambertree Vic Mel (Lincoln) Pty Ltd v Melbourne CC* [2015] VCAT 1961

between future development forms is considered acceptable to provide for an equitable development outcome, generally consistent with the central city requirements.

The site to the west, 33-41 Lincoln Square South, has also been considered. Building adjacent to the existing form at the west boundary is an appropriate outcome, where 33-41 Lincoln Square South benefits from unfettered access to light, air and outlook to the north and west given its position at the corner with Bouverie Street and access to the south through the benefit of abutting Cumberland Place. The proposal has designed for the potential redevelopment of 33-41 Lincoln Square South by incorporating the light-court to the west elevation, adjacent the un-named lane, to ensure good access to light and air is retained regardless of the future development to the west.

9.4. Traffic and Car Parking, Bicycle Parking, Loading and Waste

9.4.1. Traffic and Car Parking

In relation to the statutory requirements for car parking provision, the development provides no on-site parking which is less than the maximum allowable under Schedule 1 to the Parking Overlay. A permit is therefore not required.

The provision of no on-site car parking is supported by transport policy at Clause 18.01-3S, seeking to encourage a modal shift away from private vehicle ownership and towards sustainable transport options such as public transit, cycling and walking.

Council's Traffic Engineers raised no concern with the proposal on parking and traffic grounds, with the matters outlined in their referral response capable of being dealt with through recommended permit conditions for a Loading Management Plan.

9.4.2. Bicycle Facilities

As set out earlier in the report, the proposal has a statutory requirement of 26 bicycle spaces. The proposal includes a total of 72 spaces, exceeding the requirement under Clause 52.34. The proposal does seek to waive the requirement for a communal change room for cyclists.

A waiver is considered appropriate given the occupants of the building will have access to private bathrooms throughout the building. It is noted that the bicycle facilities requirements are triggered for the residential component of the development only, with there being no requirement to provide bicycle parking for any employees associated with the proposed uses.

9.4.3. Loading and Waste

The proposal includes a dedicated loading and waste collection bay located along the eastern boundary accessed from Cumberland Place and integrated with the internal service and waste storage areas within the building. Council's Traffic Engineers have reviewed this arrangement and found it to be acceptable subject to conditions, including for the submission of a Loading Management Plan for endorsement.

A Waste Management Plan has been submitted to and reviewed by Council's Waste Services team with minor change recommended for clarity. Accordingly, it is recommended that the Waste Management Plan be amended and endorsed through a permit condition.

9.5. Environmentally Sustainability Design

9.5.1. Energy, Water and Waste Efficiency

Policy at Clause 15.01-2L-01 encourages buildings that:

- *Minimise greenhouse gas emissions and maximise energy efficiency.*
- *Minimise mains potable water consumption and encourage the use of alternative water sources, such as rainwater and grey water.*

- *Provide the facilities that will enable building users and occupants to reduce waste sent to landfill, maximise the recycling and reuse of materials and support the municipality's progress towards becoming a resource and material-efficient city.*

As noted at Section 8 of this report, Council's ESD Officer has reviewed the proposal, including the Sustainable Management Plan (SMP) and found it to be generally in accordance with Clause 15.01-2L-01 - Energy and resource efficiency.

Conditions have been recommended which would resolve the outstanding detailed matters to ensure an acceptable ESD outcome.

It is noted that the Sustainability Management Plan commits to achieving a 5 Star Green Star rating which is consistent with the minimum (mandatory) requirements of the proposed DDO73 currently before the Minister for Planning for approval as part of Amendment C376.

9.5.2. Stormwater Management (Water Sensitive Urban Design)

The objectives of Clause 19.03-3L include:

"To achieve the best practice performance objectives for suspended solids, total phosphorus and total nitrogen, as set out in the Urban Stormwater Best Practice Environmental Management Guidelines, CSIRO 1999 (or as amended).

To promote the use of water sensitive urban design.

To mitigate the detrimental effect of development on downstream waterways.

To minimise peak stormwater flows and stormwater pollutants for the improved health of water bodies, including creeks, rivers and bays."

Clause 19.03-3L provides that it is policy that development applications relating to new buildings incorporate water sensitive urban design that achieve the best practice water quality performance objectives set out in the *Urban Stormwater Best Practice Environmental Guidelines, CSIRO 1999* (or as amended).

The proposed development has been reviewed by Council's ESD Officer and is considered to generally comply with performance measures set out in Clause 19.03-3L or could be addressed via recommended conditions.

9.6. Objector Concerns

Three (3) objections were received to the permit application. A summary of the objections and a response to the concerns raised in the objections is provided below:

Heritage	<ul style="list-style-type: none"> • The proposed extent of demolition (including roof and interior) will impact the significance and integrity of the heritage place. • The proposed addition is inconsistent with the conservation of a heritage place and that the additional floors above will overpower and dominate the appearance of the heritage building. • The change of heritage grading to 'Significant'.
<p>Response:</p> <p>The proposal is considered to achieve an acceptable response to existing heritage built form, as discussed in some detail throughout this report, particularly in section 9.2.</p> <p>It is acknowledged that the site is of a 'Significant' heritage grading, the extent of demolition, alterations and extensions is considered acceptable. The proposal demonstrates the three dimensional fabric of the heritage host being retained.</p> <p>The extent of demolition is assessed to be reasonable in the circumstances and the extent and siting of development proposed is deemed to be respectful of the Significant heritage graded building and has achieved an acceptable balance when balancing heritage policies, urban consolidation policies and the emerging surrounding context</p>	

Heritage	<ul style="list-style-type: none"> • The proposed extent of demolition (including roof and interior) will impact the significance and integrity of the heritage place. • The proposed addition is inconsistent with the conservation of a heritage place and that the additional floors above will overpower and dominate the appearance of the heritage building. • The change of heritage grading to 'Significant'.
Amenity	<ul style="list-style-type: none"> • Concern for creation of amenity impacts (overshadowing and overlooking) to adjacent building to the south.
<p>Response: The proposal is considered to provide an acceptable response to the matters of overshadowing and overlooking to the south. As discussed in section 9.3.3. the policy and physical contexts results in the impacts being considered reasonable.</p>	
Traffic	<ul style="list-style-type: none"> • Concern car parking and loading provisions are inadequate and will result in blocking of laneways. • Concern bicycle facilities are inadequate and will result in bicycles cluttering the pavements close to the site.
<p>Response: The proposal is not considered to pose any unreasonable risk to the safe and efficient operation of the surrounding transport network by way of traffic and subject to conditions, waste collection and loading activities are capable of effective management. The proposal exceeds the requirements for storage of bicycles, and as such it is considered the presence of bicycles on neighbouring footpath spaces to result in unreasonable detriment.</p>	
Equitable development	<ul style="list-style-type: none"> • Protection of equitable development rights sought for adjacent building to the south, with concern the proposed southern setback is inadequate. • Concern for use and protection of access for the proposed lightwell.
<p>Response: The matter of equitable development has been discussed in section 9.3.4 of the report, with there being no unreasonable fettering of surrounding development opportunities by the proposal. The proposed lightwell is contained wholly within the site, with satisfactory area and setbacks from the site boundary to allow light and air to windows within the lightwell. Further, the location is partially adjacent the unnamed Council Lane CL1094, providing additional setback from 33 Lincoln Square South. The lane will remain in place, until such time as a formal process of discontinuance by Council. At such time (in the future if Council determines it no longer requires the lane) this change to private ownership may result in the lane being developed. Regardless, the lightwell is of sufficient size to ensure adequate light and air to the internal student accommodation spaces and does not require any legal agreement or other manner of protection.</p>	

10. Conclusion

For the reasons discussed in this report, it is considered that the proposal achieves an acceptable outcome having regard to the relevant provisions of the Scheme. It is considered that the proposal should be supported subject to conditions.

Officer Recommendation

The proposal is consistent with the relevant sections of the Melbourne Planning Scheme, as discussed above, and that a Notice of Decision to Grant a Permit be issued for the proposal subject to conditions.

11. Conditions

Planning scheme clause	Matter for which the permit has been granted
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37.04-1	Use of the land for a residential building (student accommodation) under the Capital City Zone, Schedule 5
37.04-4	Construct a building and carry out works (partially) demolish a building under the Capital City Zone, Schedule 5
43.01-1	(Partially) demolish a building and construct a building and carry out works including to externally alter a building and externally paint a building under the Heritage Overlay.
43.02-2	Construct a building and carry out works under the Design and Development Overlay, Schedule 61
52.34-2	Vary, reduce or waive the bicycle facilities requirement of clause 52.34-5 and clause 52.34-6.

Compliance with approved documents under this permit

1. At all times what the permit allows must be used, developed, and carried out in accordance with the requirements of any document endorsed under this permit to the satisfaction of the Responsible Authority.

Amended plans prior to endorsement

2. Prior to the development starting, an electronic set of amended plans drawn to scale, including an updated development summary, must be submitted to and approved by the Responsible Authority. The plans must be generally in accordance with the plans prepared by Hayball, Project No. 2761, Revision 2, and all dated 31/03/2025, but modified to show:
 - a. Increase in setback to the east boundary for levels 7 and above for the northern most 8.3 metres, from 1.03 metres to a minimum of 2.03 metres. This must not result in reduction to setback to any other boundaries.
 - b. Provision of openable panels to existing glazed windows in hopper sashes consistent with the original building appearance on the north elevation. The capacity to fully close the windows must be retained.
 - c. Provision of overlooking mitigation measures from the proposed south facing habitable room windows and balconies of levels 1 to 4 within 9 metres of neighbouring habitable room windows.
 - d. The roof plant screening structure to be setback from the north boundary by an additional 1 metre.
 - e. Notation to door type of "tenancy waste store A", ensuring door operation allows access to each of the stored bin types.
 - f. Any design revisions or annotation in accordance with the requirements of the Conservation Management Works Plan condition 7.
 - g. Any design revisions to the development in accordance with the requirements of the Façade Strategy condition 9.
 - h. Any design revisions or annotation in accordance with the requirements of the Landscape Plan condition 10.

- i. Any design revisions to the development in accordance with the requirements of the Waste Management Plan condition 12.
- j. Any design revisions and additional notations as required by the Sustainability Management Plan condition 13.
- k. Any design revisions to the development in accordance with the requirements of the Wind Impact Assessment condition 16.
- l. Annotations to accord with the Acoustic Assessment required by Condition 17 of this permit.
- m. Any changes, plan notations, or otherwise required from any other condition in this permit required to be satisfied concurrently with the endorsement of plans.

These amended plans must be to the satisfaction of the Responsible Authority and when approved will be endorsed to form part of the permit.

Layout not altered and satisfactory completion

- 3. The layout of the use and development must not be altered from the layout on the approved and endorsed plans without the written consent of the Responsible Authority.
- 4. Prior to the occupation of the development, all new or extended walls on or facing the boundary of adjoining properties and/or a laneway must be cleaned and finished to a uniform standard to the satisfaction of the Responsible Authority.
- 5. No architectural features, plant and equipment or services other than those shown on the endorsed plans are permitted above the finished roof level, unless with the prior written consent of the Responsible Authority.

Retention of architectural firm

- 6. Except with the consent of the Responsible Authority, Hayball must be retained to complete and provide architectural oversight during detailed design and development.

Conservation Management Works Plan (CMWP)

- 7. Concurrent with the endorsement of plans under condition 2 of this permit, a CMWP for the heritage place prepared by a suitably qualified heritage expert must be approved and endorsed by the Responsible Authority. The CMWP is to contain a schedule of conservation works and associated detailed drawings at an appropriate scale. The conservation works are to include (but are not restricted to):
- 8. Window repairs / restoration.
 - a. External masonry restoration and infill of openings.
 - b. Stripping of painted brickwork, and signage reveal.

The CMWP must be to the satisfaction of the Responsible Authority and when approved will be endorsed to form part of the permit. The endorsed CMWP must not be altered without prior consent of the Responsible Authority.

- 9. Prior to the development starting, the permit holder must nominate and have approved in writing from the Responsible Authority a suitably qualified conservation architect to inspect all demolition and conservation / reinstatement development at the heritage place in accordance with the endorsed CMWP. The approved conservation architect is to inspect the development and advise the Responsible Authority in writing that the project has been completed in accordance with the endorsed CMWP.

Façade strategy

10. Concurrent with the endorsement of plans under condition 2 of this permit, a facade strategy prepared by a suitably qualified person must be submitted to and be approved by the Responsible Authority. The facade strategy must be generally in accordance with the development plans and must detail:
- a. Include any changes required by condition 2 of this permit.
 - b. A concise description by the architect of the building design concept and how the façade works to achieve this.
 - c. Elevation details generally at a scale of 1:50 illustrating typical lower level details, balcony niches, entries and doors, and utilities, typical tower detail, and any special features which are important to the building's presentation.
 - d. Cross sections or another method of demonstrating the façade systems, including fixing details indicating junctions between materials and significant changes in form and / or material.
 - e. Information about how the façade will be accessed and maintained and cleaned.
 - f. A schedule of colours, materials and finishes, including the colour, type and quality of materials showing their application and appearance. Materials and finishes must be of a high quality, contextually appropriate, durable and fit for purpose.

The façade strategy must be to the satisfaction of the Responsible Authority and when approved will be endorsed to form part of the permit. The endorsed façade strategy must not be altered without prior consent of the Responsible Authority.

Landscape Plans

11. Prior to the commencement of the development, (excluding demolition), construction or carrying out of works, a landscape plan prepared by a suitably qualified landscape architect must be submitted to and approved by the Responsible Authority. The landscape plan must include or show:
- a. Any changes required by Condition 2 of this permit.
 - b. A planting schedule to include the proposed location and number / density of plants, and their positions across the design.
 - c. Include a maintenance plan which includes ongoing maintenance schedule during the establishment period and after the initial 52 week period (including weed, pest management, succession planting, re-mulching, plant nutrition, hygiene, and replacement timeframes for poorly performing vegetation).

The landscape plan must be to the satisfaction of the Responsible Authority and when approved shall form a part of the endorsed plans of this permit.

12. Prior to the occupation of the development, landscape works as shown on the endorsed plans must be completed and be maintained to the satisfaction of the Responsible Authority.

Waste management plan (WMP)

13. Concurrent with the endorsement of plans under condition 2 of this permit, an amended WMP prepared by a suitably qualified person must be submitted to and approved by the Responsible Authority. The amended WMP must be generally in accordance with the WMP prepared by Traffix Group dated 26 March 2025 (Revision Issue C) but modified to show:

- a. Include any changes required by condition 2 of this permit.

The Responsible Authority may vary any of the above requirements.

The amended WMP must be to the satisfaction of the Responsible Authority and when approved will be endorsed to form part of the permit. The endorsed WMP must not be altered without prior consent of the Responsible Authority.

Environmentally Sustainable Design Statement (ESDS)

14. Concurrent with the endorsement of plans under condition 2 of this permit or unless otherwise approved in writing by the Responsible Authority, an amended Sustainable Management Plan (SMP) report prepared by a suitable qualified person must be submitted to and approved by the Responsible Authority. When approved, the amended SMP report will be endorsed and form part of this permit. The amended SMP report must be generally in accordance with the SMP report prepared by Stantec (Rev 03, 26 March, 2025), but modified to include or show:
- a. Provide evidence that the development has been registered with the Green Building Council of Australia for a 5 Star Green Star Buildings rating.
 - b. Provide details of the Green Star Accredited Professional (individual) who has been assigned to the project.
 - c. Unless otherwise agreed in writing by the Responsible Authority, provide daylight modelling to demonstrate the development can achieve high levels of daylight to at least 40% of the regularly occupied areas for non-residential spaces and 60% of combined living and bedroom areas.
 - d. Provide a pre-screening checklist to show the climate risks are understood. Provide a climate change risk and adaptation plan prior to the commencement of construction.
 - e. Evidence that shows at least 75% of the whole site area comprises of one or a combination of strategies that reduce the heat island effect.
 - f. Provide evidence that the development can achieve at least a 20% reduction in the building's upfront carbon emissions compared to a reference building.
 - g. Provide preliminary modelling that demonstrates the development's operational energy use will be 20% less than a reference building.
 - h. Provide a report and Life Cycle Analysis modelling that indicates the development can achieve a 30% reduction using the Life Cycle Impacts calculator.
 - i. Provide the Green Star movement and place calculator indicating 3 points can be achieved by the development.
 - j. Update the SMP to include all sustainable transport initiatives within the development including references to items located on the planning drawings.
 - k. Document the total system size of the onsite PV system (20 kw) on the town planning drawings.
 - l. Provide a note on the floor plans showing the rainwater tank 20 kL including a notation for intended reuse for toilets, irrigation and washdown.

The content of the ESDS must be to the satisfaction of the Responsible Authority.

Implementation of Sustainable Management Plan Report

15. Prior to the occupation of any building approved under this permit, a report from the author of the endorsed SMP report, or similarly qualified persons or companies, outlining how the performance outcomes specified in the amended SMP have been implemented must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm and provide sufficient evidence that all measures specified in the approved SMP have been implemented in accordance with the relevant approved plans.

Green Star Buildings Certification

16. Within 24 months from the date of occupancy evidence of a certified 5 Star Green Star Buildings rating must be provided.

Wind assessment

17. Concurrent with the endorsement of plans under condition 2 of this permit, wind tunnel tests carried out by a suitably qualified consultant, must be carried out on a model of the approved building. A report detailing the outcome of the testing must be submitted to and be to the satisfaction of the Responsible Authority. The report must also recommend any modifications which must be made to the design of the building to reduce any adverse wind conditions in areas used by pedestrians, to the satisfaction of the Responsible Authority. The recommendations of the report must be implemented at no cost to the Responsible Authority and must not include reliance on street trees.

Acoustic Assessment

18. Prior to the commencement of the development, excluding demolition, bulk excavation, site preparation and retention works, an Acoustic Report prepared by suitably qualified person must be prepared and submitted to and approved by the Responsible Authority. The report must address the noise associated with the operation of other businesses and activities and include limiting internal noise levels of new habitable rooms to a maximum of 45 dB in accordance with relevant Australian Standards for acoustic control, for new and refurbished residential developments and other sensitive uses.
19. The recommendations contained within the endorsed Acoustic Report must be implemented at no cost to and be to the satisfaction of the Responsible Authority.

Loading Management Plan (LMP)

20. Prior to occupation, a LMP prepared by a suitably qualified person must be submitted to and approved by the Responsible Authority. The LMP must specify how the ingress and egress of loading vehicles is to be managed including a loading dock manager / building manager be appointed with the following responsibilities:

- a. Present on site when deliveries are undertaken.
- b. Act as a spotter for any reversing movements into the loading bay.
- c. Act as informal traffic controller to discourage pedestrian movements when vehicles reverse.
- d. Ensure conflicts do not occur between loading and other vehicles.
- e. Ensure that space used for vehicle manoeuvring is kept clear of other obstructions.

The LMP must be to the satisfaction of the Responsible Authority and when approved will be endorsed to form part of the permit. The endorsed LMP must not be altered without prior consent of the Responsible Authority.

Structural Integrity Report (SIR)

21. Prior to the development starting, an SIR prepared by a suitably qualified structural engineer, must be submitted to and approved by the Responsible Authority. The SIR must demonstrate how the retained portions of building will be supported during demolition and construction to ensure their retention. The SIR must be to the satisfaction of the Responsible Authority and when approved will be endorsed to form part of the permit. The endorsed SIR must not be altered without prior consent of the Responsible Authority.

Student Management Plan

22. Prior to occupation, a Student Management Plan (SMP) prepared by a suitably qualified person must be submitted to and approved by the Responsible Authority. The SMP must specify:
- a. A set of 'house rules' for the use and management of students away from their normal place of residence.
 - b. That a suitably qualified full time manager with responsibility to oversee students is either on-site during general business hours or contactable off-site after hours by both professionally trained staff and residents.
 - c. The maintenance, cleaning, garbage storage and collection, supervision and security of the site.

The SMP must be to the satisfaction of the Responsible Authority and when approved will be endorsed to form part of the permit. The endorsed SMP must not be altered without prior consent of the Responsible Authority.

Legal Agreement – Student Accommodation Use

23. Prior to the development starting, the owner of the land must enter into an agreement with the Responsible Authority under section 173 of the *Planning and Environment Act 1987*. The agreement must provide the following:
- a. The accommodation provided on the subject land is to be used for the exclusive accommodation of students enrolled full time or part time at a secondary or tertiary level education institution and must be vacated within three months of completion of these studies.
 - b. The building must operate in accordance with the student management plan endorsed under this planning permit to the satisfaction of the Responsible Authority.
 - c. Any on-site facilities, including communal areas and bicycle parking spaces, approved under this planning permit must be managed in accordance with this planning permit to the satisfaction of the Responsible Authority.
 - d. The on-site facilities are only permitted to be used by the occupants and employees of the student accommodation use, in accordance with the endorsed plans, and such facilities must not be subdivided, leased, or sold separate from the facility for any reason without the prior written consent of the Responsible Authority.
 - e. The agreement shall form part of any lease of the premises which the owner of the land under this permit may enter into with another party.

The owner of the land must pay all of the Responsible Authority's reasonable legal costs and expenses of this agreement, including preparation, execution and registration on title.

24. Any retail tenancy must not be used for an Adult sex product shop, Bar and Hotel, except with permission from the Responsible Authority.

Three-dimensional Model

25. Prior to occupation, a three-dimensional digital model of the completed development must be submitted to and must be to the satisfaction of the Responsible Authority. If substantial modifications are made to the building envelope and design, a revised model must be submitted to and be to the satisfaction of the Responsible Authority before these modifications are approved.

Demolition and Construction Management Plan (DCMP)

26. Prior to the development starting, a DCMP prepared by a suitably qualified person must be submitted to and be approved by the Responsible Authority – Site Services. The DCMP must be prepared in

accordance with the City of Melbourne – Construction Management Plan Guidelines to the satisfaction of the Responsible Authority – Site Services.

Tree Protection Plan (TPP)

27. Prior to the development starting, a TPP prepared by a suitably qualified person must be submitted to and approved by the Responsible Authority – Urban Forestry & Ecology. The TPP must identify all impacts to public trees, be in accordance with AS 4970-2009 – Protection of trees on development sites and include:
- a. City of Melbourne asset numbers for the subject trees.
 - b. Reference the approved CMP, including any public protection gantries, loading zones and machinery locations.
 - c. Site specific details of the temporary tree protection fencing to be used to isolate public trees from the demolition and or construction activities or details of any other tree protection measures considered necessary and appropriate to the works.
 - d. Specific details of any special construction methodologies to be used within the Tree Protection Zone of any public trees. These must be provided for any utility connections or civil engineering works.
 - e. Full specifications of any pruning required to public trees including reference to marked images.
 - f. Any special arrangements required to allow ongoing maintenance of public trees for the duration of the development.
 - g. Details of the frequency of the Project Arborist monitoring visits, interim reporting periods and final completion report (necessary for bond release).
28. Prior to the development starting and following the approval of a TPP, a bond equivalent for the combined environmental and amenity values of any public tree that may be affected by the development may be held against the TPP for the duration of construction activities. The bond amount will be calculated by the Responsible Authority and provided to the applicant / developer / owner of the land. Should any tree be adversely impacted on, the Responsible Authority will be compensated for any loss of amenity, ecological services or amelioration works incurred.
29. In accordance with the Tree Policy 2021, tree pruning, or removal will not occur in any form without the written authority of the Responsible Authority – Urban Forestry & Ecology. All options for tree retention must be explored and exhausted to the satisfaction of the Responsible Authority – Urban Forestry & Ecology before public tree removal, or significant pruning, is approved.
30. All development and works within the Tree Protection Zone of public trees must be undertaken in accordance with the endorsed TPP and supervised by a suitably qualified Arborist, where identified in the report, except with the further written consent of the Responsible Authority – Urban Forestry & Ecology.

City infrastructure

31. Prior to the development starting, a stormwater drainage system incorporating integrated water management design principles must be submitted to, and approved, by the Responsible Authority – City Infrastructure. This system must be constructed prior to the occupation of the development and provision made to connect this system to the City of Melbourne's stormwater drainage system.

32. Prior to the development starting, a lighting plan must be submitted to and approved by the Responsible Authority – City Infrastructure. The lighting plan should be generally in accordance with the Council's Lighting Strategy and include the provision of public lighting in Cumberland Place.
33. Prior to the occupation of the development, the approved development under the endorsed lighting plan must be completed to the satisfaction of the Responsible Authority – City Infrastructure.
34. Prior to the occupation of the development, all projections over the street alignment must be drained to a legal point of discharge in accordance with plans and specifications first approved by the Responsible Authority – City Infrastructure.
35. Prior to the occupation of the development, all portions of roads and laneways affected by the development activities must be reconstructed together with associated works including the reconstruction or relocation of services as necessary at the cost of the developer, in accordance with plans and specifications first approved by the Responsible Authority – City Infrastructure.
36. Prior to the occupation of the development, the footpath adjoining the subject land along Lincoln Square South must be reconstructed in sawn bluestone together with associated works including the renewal of kerb and channel, provision of street furniture and modification of services as necessary at the cost of the developer, in accordance with plans and specifications first approved by the Responsible Authority – City Infrastructure.
37. Prior to the occupation of the development, all street lighting assets temporarily removed or altered to facilitate development must be reinstated once the need for removal or alteration has been ceased.
38. Existing public street lighting must not be altered without first obtaining the written approval of the Responsible Authority – City Infrastructure. Interim lighting arrangements must be provided to the satisfaction of the Responsible Authority – City Infrastructure.
39. Existing street levels in roads adjoining the subject site must not be altered for the purpose of constructing new vehicle crossings or pedestrian entrances without first obtaining approval from the Responsible Authority – City Infrastructure.
40. Existing street furniture must not be removed or relocated without first obtaining the written approval of the Responsible Authority – City Infrastructure.
41. The approved development must not result in structures that encroach into City of Melbourne's streets and laneways.

Expiry

42. This permit will expire if one of the following circumstances applies:
 - a. The development is not started within three years of the date of this permit.
 - b. The development is not completed within five years of the date of this permit.
 - c. The use is not started within one year of the completion of the development.

In accordance with section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

– End of conditions –

Notes

- Building approval
 - This permit does not authorise the starting of development on the land. Before any demolition or construction starts, the permit holder must apply for and obtain appropriate building approval

from a Registered Building Surveyor. It is the responsibility of the permit holder and Registered Building Surveyor to ensure that all development approved by any building permit are consistent with this permit.

- Other approvals may be required
 - This permit does not represent the approval of other departments of City of Melbourne or other statutory authorities. Such approvals may be required and may be assessed on different criteria from that adopted for the approval of this permit.
- Road encroachments
 - All projections over the street alignment must conform to Building Regulations 2018, Part 6, Sections 98 to 110 as appropriate. Reference can be made to the City of Melbourne's Road Encroachment Operational Guidelines with respect to projections impacting on street trees and clearances from face / back of kerb.
- Car parking
 - Council will not change the on-street parking restrictions to accommodate this development.
 - Residents of this development will not be eligible to receive parking permits and will not be exempt from on-street parking restrictions.

How to contact us

Online:

melbourne.vic.gov.au

In person:

Melbourne Town Hall - Administration Building
120 Swanston Street, Melbourne
Business hours, Monday to Friday
(Public holidays excluded)

Telephone:

03 9658 9658

Business hours, Monday to Friday
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Fax:

03 9654 4854

In writing:

City of Melbourne
GPO Box 1603
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Please call 03 9280 0726

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National Relay Service:

If you are deaf, hearing impaired or speech-impaired,
call us via the National Relay Service: Teletypewriter (TTY)
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